

# Sample Report

LEVEL 2

## Your Survey Report

Property Address 70 Any Street  
Norwich  
NR1 1AA

Client's Name Mr A & Mrs B Sample

Consultation date (if applicable)

Inspection date 14 October 1066

Surveyor's RICS number 1234567



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Sample Report

# A

## About the inspection and report

This Home Survey – Level 2 (survey only) service has been produced by a surveyor, who has written this report for you to use. If you decide not to act on the advice in this report, you do so at your own risk.

*Sample Report*

As agreed, this report will contain the following:

- a physical inspection of the property (see *The inspection* in section M) and
- a report based on the inspection (see *The report* in section M).

## About the report

We aim to give you professional advice to:

- make a reasoned and informed decision on whether to go ahead with buying the property
- take into account any repairs or replacements the property needs, and
- consider what further advice you should take before committing to purchasing the property.

Any extra services we provide are not covered by these terms and conditions, and must be covered by a separate contract.

## About the inspection

- We only carry out a visual inspection.
- We inspect roofs, chimneys and other surfaces on the outside of the building from ground level and, if necessary, from neighbouring public property and with the help of binoculars.
- We inspect the roof structure from inside the roof space if there is access (although we do not move or lift insulation material, stored goods or other contents). We examine floor surfaces and under-floor spaces so far as there is safe access to these (although we do not move or lift furniture, floor coverings or other contents). We do not remove the contents of cupboards. We are not able to assess the condition of the inside of any chimney, boiler or other flues. Also, we do not remove secured panels or undo electrical fittings.
- We note in our report if we are not able to check any parts of the property that the inspection would normally cover. If we are concerned about these parts, the report will tell you about any further investigations that are needed.
- We do not report on the cost of any work to put right defects or make recommendations on how these repairs should be carried out. Some maintenance and repairs we suggest may be expensive.
- We inspect the inside and outside of the main building and all permanent outbuildings, but we do not force or open up the fabric of the building. We also inspect the parts of the electricity, gas/oil, water, heating and drainage services that can be seen, but we do not test them.
- To help describe the condition of the home, we give condition ratings to the main parts (the 'elements') of the building, garage and some parts outside. Some elements can be made up of several different parts.
- In the element boxes in sections D, E, F and G, we describe the part that has the worst condition rating first and then briefly outline the condition of the other parts. The condition ratings are described in section B of this report. The report covers matters that, in the surveyor's opinion need to be dealt with or may affect the value of the property.

### (!) Reminder

Please refer to your Terms and Conditions that were sent to you at the point you (the client) confirmed your instructions to us (the firm), for a full list of exclusions.



# About the inspection

Surveyor's name

Peer King

Surveyor's RICS number

1234567

Company name

Peer | King Surveyors

Date of the inspection

14 October 1066

Report reference number

123-2-NR11AA

Related party disclosure

No conflict. I am not aware that there is any conflict of interest as defined in the RICS Valuation Standards and RICS Rules of Conduct.

Full address and postcode of the property

70 Any Street

Norwich

NR1 1AA

Weather conditions when the inspection took place

24°C and sunny with wind from the east at 10mph. The period of weather preceding the inspection was similar and there was 0mm rainfall in the 24 hours prior.

Status of the property when the inspection took place

The property was unoccupied but furnished at the time of my inspection. Floor coverings, fixed units, and unremoved furniture may have limited inspection of hidden areas of the property. In the absence of cardinal points (i.e. North, South, East, West), directional references to the exterior of the property (i.e. Left and Right) are taken as if facing the FRONT elevation of the property from the road.

# B

## Overall opinion

This section provides our overall opinion of the property, highlights any areas of concern and summarises the condition ratings of the different elements of the property. Individual elements of the property have been rated to indicate any defects, and have been grouped by the urgency of any required maintenance.

If an element is made up of a number of different parts (for example, a pitched roof to the main building and a flat roof to an extension), only the part in the worst condition is shown here.

### Important note

To get a balanced impression of the property, we strongly recommend that you read all sections of the report, in particular section L, 'What to do now', and discuss this with us if required.

Sample Report

# B

## Summary of condition ratings

### Overall opinion of property

We are pleased to advise you that in our opinion the property is, on the whole, a reasonable proposition for purchase provided you are prepared to accept the costs and inconvenience of dealing with the various repairs/improvement works drawn to your attention within this report. The property is suffering from some serious defects however, and these require urgent attention. You should pay particular attention to those items marked with a red '3' in the report. Provided the necessary work is carried out to a satisfactory standard we see no reason why there should be any special difficulties upon resale, provided the property is correctly priced and marketed.

As soon as you receive the quotations and reports for works specified, and also the responses from your legal advisor, we would be pleased to advise whether or not they would cause us to change the advice or valuation given herein.

We must make you aware that should you decide to exchange contracts without obtaining this information, you must accept the risk that adverse factors might come to light in the future.

If, after reading and considering this report, you intend to proceed with the purchase, you are advised to send a copy as soon as possible to your legal advisor.

Sample Report

# B

## Summary of condition ratings

To determine the condition of the property, we assess the main parts (the 'elements') of the building, garage and some outside areas. These elements are rated on the urgency of maintenance needed, ranging from 'very urgent' to 'no issues recorded'.



### Documents we may suggest you request before you sign contracts

There are documents associated with the following elements. Check these documents have been supplied by your solicitor before exchanging contracts.

Element no.	Document name	Received
F1	Electricity Safety Certificate	
F2	Gas/Oil Safety Certificate	
F3	Water Regulations Certificate	
F4	Heating (Gas/Oil) Safety Certificate	
F5	Water Heating (Gas/Oil) Safety Certificate	

Sample Report



# B

## Summary of condition ratings

**3**

### Elements that require urgent attention

These elements have defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property.

Element no.	Element name	Comments (if applicable)
D2	Roof Coverings	Poor fit to pantiles, slippage, damage; recovering needed
E2	Ceilings	Polystyrene covings; fire hazard
F1	Electricity	Safety certificate
F2	Gas/Oil	Safety certificate
F3	Water	Regulations certificate
F4	Heating	Safety certificate
F5	Water Heating	Safety certificate
G3	Grounds Generally (Gardens, Paths, etc)	Unstable garden wall; attend to immediately

Sample Report

# B

## Summary of condition ratings

2

Elements that require attention but are not serious or urgent

These elements have defects that need repairing or replacing, but are not considered to be either serious or urgent. These elements must also be maintained in the normal way.

Element no.	Element name	Comments (if applicable)
D1	Chimney Stacks	
D3	Rainwater Pipes and Gutters	
D5	Windows	
D7	Porch	
E8	Bathroom Fittings	

Sample Report

# B

## Summary of condition ratings

**1**

### Elements with no current issues

No repair is currently needed. The elements listed here must be maintained in the normal way.

Element no.	Element name	Comments (if applicable)
D4	Main Walls	
D6	Outside Doors and Patio Doors	
D8	Other Joinery and Finishes (Soffits, Fascias, etc)	
E1	Roof Structure and Roof Space	
E3	Walls	
E4	Floors	
E5	Fireplaces, Chimney Breasts and Flues	
E6	Built-in Fittings (Kitchens)	
E7	Woodwork	

**NI**

### Elements not inspected

We carry out a visual inspection, so a number of elements may not have been inspected. These are listed here.

Element no.	Element name	
F6	Drainage	Manholes not lifted

# C

## About the property

This section includes:

- About the property
- Energy efficiency
- Location and facilities

*Sample Report*

## About the property

### Type of property

Detached house.

### Approximate year the property was built

Late 20th century; the vendor informs us the original portion of the house was built in 1983.

### Approximate year the property was extended

Planning Permission for extensions at the property is dated 2013:



Details Comments (0) Documents (35) Related Cases (1) Map

Summary Further Information Contacts (1) Important Dates

Reference	
Alternative Reference	
Application Received	
Application Validated	
Address	
Proposal	Single story extension to two storey cottage along with conversion of existing garage to provide new lounge and bedroom with en-suite bathroom
Status	Application Permitted
Decision	Application Permitted
Decision Issued Date	
Appeal Status	
Appeal Decision	

### Approximate year the property was converted

N/A.

### Information relevant to flats and maisonettes

N/A.

### Construction

The property is built using traditional materials and techniques. The walls of the main body of the property are of brick faced cavity masonry with flint dressings, the main roof is pitched and clad in pantile. Internal floors are of solid construction at ground floor and suspended timber construction at first floor. The property was purpose built as a dwelling and has not been converted from non-residential use.

# C

## About the property

### Accommodation

	Living Rooms	Bedrooms	Bath or Shower	Separate WC	Kitchen	Utility Room	Conservatory	Other
Ground	2	1	1	1	1			
First		2	1					

### Grounds

The property is approached via a dropped kerb to the front leading to a pea shingle clad parking area. There is a paved path at the front leading to the front door. A gated passage to the east leads to the rear garden which comprises paving, pea shingle and decking with mature planting and timber boundaries. There is a blind passage to the west containing the boiler and oil tank.

### Location

The property is located in NR1 in close proximity to the city centre. The nearby A11 provides easy access out of town towards Thetford and Cambridge. Norwich station is served by Greater Anglia and EMR trains and has connections to London, Cambridge, other county destinations. Surrounding properties appeared pleasant and well kept.

### Facilities

The property is within easy reach of all daily and lifestyle amenities.

### Local environment

The property is in an area that is unlikely to flood (see section 12 Risks).

### Other local factors

We have not checked for Japanese Knotweed (JKW) or other invasive plants, however, if any suspected invasive plants were visible during our inspection these will be noted. It is recommended that you commission an inspection and report from a qualified specialist if you have concerns about invasive plants, as we cannot rule out the possible presence of JKW or other invasive plant species.



# Energy efficiency

We are advised that the property’s current energy performance, as recorded in the EPC, is as stated below.

We have checked for any obvious discrepancies between the EPC and the subject property, and the implications are explained to you.

### Energy efficiency rating

60 | D

### Issues relating to the energy efficiency rating

Current regulations require properties to have a minimum EPC rating of ‘E’ in order to be let, unless exemptions apply. HM Government has advised that they intend to introduce legislation increasing this to a minimum rating of ‘C’ from 2025, however, on 20 September 2023 HM Government announced it would no longer seek to create policies that ‘force’ landlords to upgrade energy efficiency, but instead continue to ‘encourage households’ to do so. You should be aware that there remains a risk of further U-turns on EPC ratings for let properties, either from this or future governments.

### Mains services

A marked box shows that the relevant mains service is present.

Gas       Electric       Water       Drainage

### Central heating

Gas       Electric       Solid Fuel       Oil       None

### Other services or energy sources (including feed in tariffs)

None.

### Other energy matters

None.



D

Outside the property

*Sample Report*



# D

## Outside the property

### Limitations on the inspection

Our inspection of the property was limited to those parts that could be seen from ground level within the boundaries of the property and from the public highway. It is therefore possible that defects may exist in unseen areas. Extended camera angles such as those available from drone footage may be used to help understand and describe parts of the property, however, the existence of such imagery does not alter the terms of our engagement and cannot be relied upon for defect diagnosis.

Our inspection of some roof slopes was limited due to restricted vantage points. Where noted in Section D2, observations relate only to those parts of the roof that were readily visible from ground level or from a ladder.

### D1 Chimney stacks

1 2 3 NI

The property has one chimney stack at the east flank. The stack is slightly out of plumb however, not to an extent that we believe warrants immediate rebuilding. It would be prudent to monitor the chimney going forward. Pointing and flashings were in satisfactory condition where visible and there is a single clay pot with cowl. Minor vegetation is visible at the crown which should be cleared in the course of ordinary planned maintenance. Flaunching was not visible. 2

Chimney stacks are particularly exposed to the weather and regular maintenance must be carried out to ensure their stability and weather tightness. Any unused flues should be capped and ventilated internally and externally in order to minimise the risk of damp penetration or condensation build-up within the flues. **Condition Rating 2.**



# D

## Outside the property

### D2 Roof coverings

The main roof is pitched and clad in pantile, the main ridge runs from east to west with a link to the converted garage. We noted no visible evidence of structural distortion or splay however, there was slippage of tiles at the eaves and some loose ridge tiles visible. Pantiles generally show poor fit throughout and there is daylight penetrating into loft voids (see E1). There is damage to the valleys as well as debris build-up. Valleys are always potential problem areas and must be regularly inspected and repaired as necessary.

3

The north roof slopes show some moss and lichen growth, this should be removed periodically as it inhibits roof efficiency and can lead to valley gutters and rainwater goods becoming blocked. We recommend that pointing and bedding to ridge tiles is checked when moss removal is undertaken. The mortar bedding at roof verges, also called a cement fillet, has some minor cracking. The underclanking (tiles underneath the verge pantiles) in the older section of the property are comprised of a material highly likely to contain asbestos cement. According to the Institute for Environment and Health, such asbestos based materials should not be a cause for immediate concern however, should not be drilled or disturbed without taking suitable safety precautions.



*D2 continues...*

# D

## Outside the property

... D2 continued



D2 continues...



# D

## Outside the property

... D2 continued

We strongly recommend you obtain quotes for recovering the roof in its entirety, and ascertain the costs of these works prior to exchange of contracts. In its present condition the roof covering is highly vulnerable to wind-driven rain or wind lift of tiles, and resultant water ingress. Works to the chimney, roofs, and rainwater goods can be attended to at the same time to economise on enabling works (e.g. scaffolding, skip hire, etc...).

Condition Rating 3.



Survey

# D

## Outside the property

### D3 Rainwater pipes and gutters

The rainwater goods are made of PVC and are in broadly satisfactory condition. However, there are blockages visible (see also roof valleys, D2 above) and some gutter brackets at the rear are missing. There is some fading and brittleness to downpipes on the front elevation due to weathering from their southerly aspect. We recommend that the guttering and rainwater goods is due minor attention now. A video file of relevant defects will be provided along with the PDF copy of this report.

2

Gutters should be cleaned on a regular basis to avoid blockage, which can lead to water overflow onto wall surfaces and clogged downpipes. Rainwater harvesting tanks, if present, were not inspected in detail.

Condition Rating 2.



# D

## Outside the property

### D4 Main walls

The main walls are of brick faced cavity masonry with the bricks laid in stretcher bond (one-over-two) with flint dressings. There are some very minor hairline cracks at the east elevation and the junction between the original portion of the house and the extension however, pointing is in generally good condition throughout. The damp proof course (DPC) is comprised of plastic and is fitted at least 150mm above the external landscaping which is consistent with good practice. We noted no signs of structural movement externally.

1

Condition Rating 1.





# D

## Outside the property

### D5 Windows

The windows are PVC double glazed units and appear to be in generally good condition. There were no visible gaps to edge seals and no damage to the sills. We noted no misting between the panes in the double glazing. There is a single window head at the ground floor south east (front of garage conversion) where the lintel/head is unfinished. We recommend that this is undertaken as part of planned maintenance in order to ensure continued weathertightness of the unit. A sample of windows was tested and these opened and closed cleanly.

2

Condensation may be encountered during the course of normal occupancy. If not managed correctly, condensation can lead to mould growth, which can have adverse health effects. Maintaining a reasonable balance between heating, ventilation, and insulation should prevent excessive condensation build-up. This may require a review of your lifestyle and occupancy of the building (e.g. opening windows, heating intervals, and use of appliances such as tumble dryers). There are trickle vents present however, these are only in the extended portion of the property and therefore there is limited means of providing passive ventilation.

New regulation came into effect in 2002 and double-glazed windows fitted after that date must either be installed by qualified contractors (FENSA registered) or alternatively the subject of building regulation approval obtained at the time of installation. Your legal advisor should request certification.

Condition Rating 2.



# D

## Outside the property

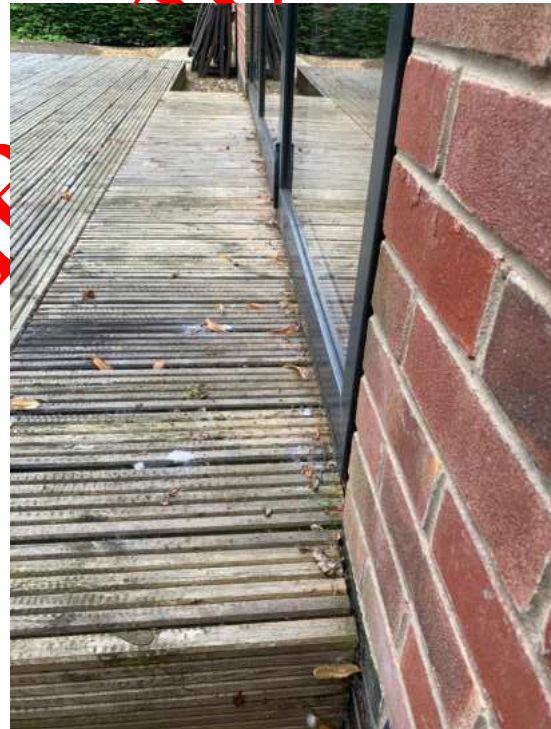
### D6 Outside doors (including patio doors)

The front door is a PVC framed wood effect unit with double glazed vision panel. It appears to be in generally satisfactory condition. We noted no evidence of misting between the double glazing panes and edge seals and sill are in satisfactory condition also. The door opened, closed and locked cleanly.

The rear kitchen door is also a PVC framed double glazed unit with a double glazed side light. The edge seals appeared to be approaching the end of their serviceable life and may benefit from replacement as part of their next planned maintenance cycle. We noted no misting between the double glazing panes and the sill was intact and in good order. This door opened, closed and locked cleanly also.

The rear sitting room doors are a set of aluminium double glazed bi-folds with again no misting between double glazing panes visible. Edge seals are in generally satisfactory condition and the doors opened, closed and locked cleanly. There is a flush threshold between the sitting room interior and the rear decking, although this is not in itself an issue flush thresholds can allow water ingress and also the proximity of the decking to the channel drain at the base of the doors may lead to the decking rotting over time and we do recommend you monitor this area.

Condition Rating 1.



1



# D

## Outside the property

### D7 Conservatory and porches

The property has a small timber framed porch with pantile roof at the front. The roof verges are exhibiting some signs of cracking and should be monitored and repaired if this worsens. Some of the lead flashing has gappy fit and may allow wind driven rain to enter. The timber brace on the right hand side poses a hazard to taller occupiers and visitors as it is at head height on the approach to the front door.

2

Condition Rating 2.



Sale

# D

## Outside the property

### D8 Other joinery and finishes

The property is fitted with PVC fascias and PVC vented soffits, all of which are in generally satisfactory condition however, would benefit from a thorough cleaning. The soffit vents provide ventilation into the loft void and should be kept clear of debris.

1

Condition Rating 1.



### D9 Other

None

-

# E

Inside the property

*Sample Report*

# E

## Inside the property

### Limitations on the inspection

Furniture, personal items, and stored materials in cupboards restricted inspection to certain areas. Whilst we have taken all reasonable care, hidden defects may be present in areas that we were unable to inspect. Appliances and fittings such as kitchen items, baths, showers, etc... have not been tested.

Our access to both loft voids was limited to a 'head and shoulders' inspection only as the loft spaces are not boarded and access was therefore restricted.

### E1 Roof structure

1 2 3 NI

The property has two loft voids, one over the first floor bathroom and one over the east garage bedroom en-suite.

1

The main roof structure is comprised of lightweight prefabricated timber truss typical for a house of this type and age. There is no loft ladder and no light in the roof space. We noted no evidence of structural distortion or splay to the roof timbers and no evidence of insects or vermin. The roofing felt is of an older bitumen type although this is in generally satisfactory condition with no holes or tears visible. This type of roofing felt will not provide ventilation into the loft void however, this is provided by vented soffits, these should be kept clear to prevent damaging condensation from building up on the roof timbers or on the roofing felt itself. There is glass fibre batt insulation present to a depth of approximately 200mm, the insulation is evenly distributed and undisturbed and should remain in place to maximise its thermal efficiency. Masonry at the west gable end was in satisfactory condition where visible and a sample of damp meter readings to a selection of roof timbers all tested dry.



# E

## Inside the property

... E1 continued

We had no access to the chimney breast in the roof space to check for penetrating damp. **Condition Rating NI.**

The roof space over the east garage bedroom and en-suite is also comprised of prefabricated lightweight timber truss however, this is fitted with a modern breathable roofing felt which will allow ventilation into the loft void and thus prevent damaging condensation from occurring on the roof timbers or on the felt itself. Gaps and poor fit to tile covering (see D2) are very noticeable in this area. We noted no evidence of structural distortion or splay in these roof timbers either and the roofing felt was in good condition. There is mineral wool insulation to a depth of approximately 300mm and again insulation batts are undisturbed and evenly distributed. The east gable end masonry was in satisfactory condition where visible and a sample of damp meter readings on a selection of roof timbers tested dry.

The roof structure and loft areas appear generally sound as of the date of inspection, however, given the condition of the roof coverings the space is vulnerable to water ingress, and you should obtain quotes for recovering the roofs in their entirety; costs should be ascertained prior to exchange of contracts.

**Condition Rating 1.**

*Informative: You have asked us to comment on the possibility of using the loft voids for storage. Any items stored in the roof should be of lightweight nature and spread evenly across to the roof void to avoid the possibility of damage to the ceilings thereunder. Lightweight timber truss construction was not designed to allow for access weight and therefore the storage of items generally is discouraged.*





# E

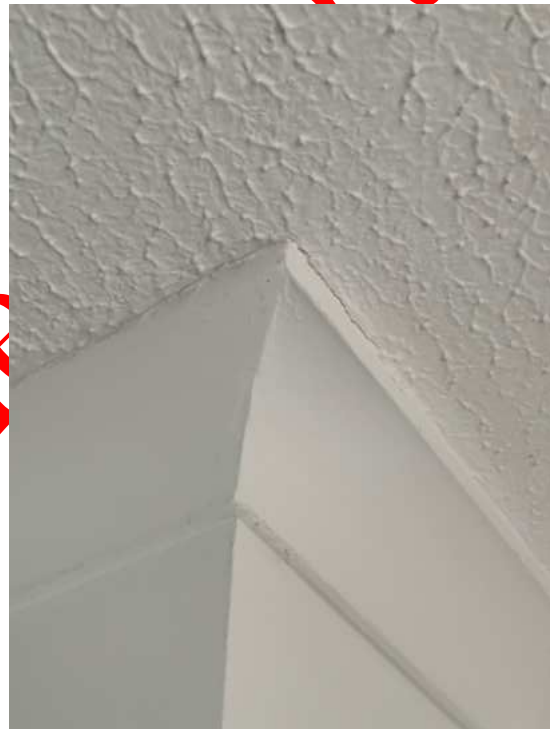
## Inside the property

### E2 Ceilings

The ceilings are predominantly skim plastered and painted, they appear to be newly decorated and are in generally good condition throughout. There are some areas of textured plaster in the older section of the property exhibiting hairline cracking and decorative imperfections consistent with the age and the overall condition. Where ceilings have been provided with a textured artex type finish it should be noted that such coatings applied prior to 1984 can incorporate an asbestos content and due care and attention should be taken when working with such materials.

There are polystyrene covings fitted in the older section of the property. Polystyrene finishes are a safety hazard because they are highly flammable and give off poisonous fumes in a fire. These should be removed now. Removal may damage the walls and ceilings underneath, requiring more extensive redecoration or repair.

Condition Rating 3.



3

# E

## Inside the property

### E3 Walls and partitions

The internal walls are of painted skim plaster finish and are in generally satisfactory condition throughout. They exhibit minor shrinkage and decorative cracking commensurate with the age and overall condition of the property. We noted no evidence for structural movement or moisture penetration internally and all sample damp meter readings to the perimeter walls at ground floor level tested dry.

1

Condition Rating 1.



Sample

# E

## Inside the property

### E4 Floors

The ground floor is of solid construction and the first floor is of suspended timber construction. The first floor felt solid (firm to foot) and did not noticeably flex or bounce. Carpets, tiles and floor finishes throughout the property were generally in satisfactory condition also.

1

Condition Rating 1.

### E5 Fireplaces, chimney breasts and flues

Internal chimney breasts appeared plumb and sound and a sample of damp meter readings around their bases and at flue height all tested dry.

1

Condition Rating 1.

We cannot comment on the condition or adequacy of flues or the existence of any flue liners but always recommend careful sweeping prior to usage. There is a wood burner present which was not tested.

Condition Rating NI.

Sample Report



# E

## Inside the property

### E6 Built-in fittings (built-in kitchen and other fittings, not including appliances)

The kitchen is fitted with built-in fittings that are modern and in generally satisfactory condition. Sealants between the kitchen worktops and splashbacks appeared to be in good condition also. However, these should be monitored for degradation and kept clean as their failure can result in damp ingress and wood rot. There is mechanical ventilation present which was functioning correctly during our inspection.

1

Condition Rating 1.



Sample

# E

## Inside the property

### E7 Woodwork (for example staircase joinery)

Internal joinery is of typical softwood construction and appears generally satisfactory throughout. This includes the hollow core doors, their frames and architraves and skirting boards. The first floor bathroom does not have a locking mechanism.

1

The stairs and handrails are solid and firmly fixed with no evidence of major gaps or movement. Handrails are fixed at the correct height and the pitch of the stairs is comfortable. On the whole, the stairs are in satisfactory condition.

Fitted wardrobes and storage units, where present, were in satisfactory condition generally and a sample of their doors opened and closed cleanly.

Condition Rating 1.



# E

## Inside the property

### E8 Bathroom fittings

The first floor bathroom, ground floor en-suite and ground floor WC are all fitted with modern sanitaryware and are in generally good condition. The sealants around the edges of sanitaryware were in generally satisfactory condition however, there is minor black mould build-up in the ground floor en-suite and no flexible sealants around the sink of the ground floor WC. Flexible sealants are important and should be monitored and kept clean as they can leak and damage adjacent surfaces. Where not installed or if not repaired quickly wood rot can soon develop. The ground floor en-suite is fitted with mechanical ventilation however, there is no mechanical ventilation in the first floor bathroom. We recommend the installation of an extractor fan to provide effective means of managing condensation and bathroom odours. There is evidence of historic splash damage in the ground floor WC (behind the hand wash basin) however, a sample of damp meter readings in this area tested dry on the day of inspection. You may wish to install a splashback to prevent further issues.

2

Condition Rating 2.



### E9 Other

None

-

# F

## Services

Services are generally hidden within the construction of the property. This means that we can only inspect the visible parts of the available services, and we do not carry out specialist tests. The visual inspection cannot assess the services to make sure they work efficiently and safely, and meet modern standards.

Sample report

## Services

### Limitations on the inspection

As a general note regarding services, we are not specialised in this field and therefore recommend that you seek specialist advice on all service matters. The items below should be regarded as comments and suggestions, and not a full and complete assessment of any problems that may exist.

Mains services within this property have been subjected to a visual inspection only, and no intrusive checks were carried out. It was not possible to verify the condition of the underground supply pipe from the Water Authority mains to the point of entry into the property, and this length of pipe is the responsibility of the property owner. No services were tested.

### F1 Electricity

1 2 3 NI

**Safety warning:** Electrical Safety First recommends that you should get a registered electrician to check the property and its electrical fittings at least every ten years, or on change of occupancy. All electrical installation works undertaken after 1 January 2005 should have appropriate certification. For more advice, contact Electrical Safety First.

The electricity meter is located on the rear elevation near the back door. The consumer board is located under the stairs. You should ensure that access to these services is kept clear of all times. The electricity supply was on when we inspected.

3



Guidelines advise that electrical installations should be tested every 10 years or upon change of ownership or occupation. You are recommended to consider the merits of this advice. You should ask your legal advisor to confirm the validity of any test evidence (see section I). If a recent test certificate, dated within the last 12 months, is not available for the installation, then we recommend it is tested (see section I2). **Condition Rating 3.**

# F

## Services

### F2 Gas/oil

**Safety warning:** All gas and oil appliances and equipment should be regularly inspected, tested, maintained and serviced by a registered 'competent person' in line with the manufacturer's instructions. This is important to make sure that the equipment is working correctly, to limit the risk of fire and carbon monoxide poisoning, and to prevent carbon dioxide and other greenhouse gases from leaking into the air. For more advice, contact the Gas Safe Register for gas installations, and OFTEC for oil installations.

The property is fitted with an oil tank in the blind passage at the west.

You should ensure that access to these services is kept clear at all times.



We have not seen a Gas Safe or OFTEC certificate, your legal advisor should check that there is a Gas Safe /OFTEC certificate and you should ask your legal advisor to confirm the validity of this evidence (see section I). If a recent test certificate dated within the last 12 months is not available for the installation, then we recommend it is tested (see section I2).

Condition Rating 3.

3



# F

## Services

### F3 Water

There is an independent mains water supply to the property.

The water meter/shut-off valve is located in the pavement to the front of the property. There is an internal stopcock located underneath the kitchen sink. A sample of sanitaryware was tested and water pressure was found to be satisfactory on the day of inspection.

3



Water regulations change regularly and often, and it was not possible to confirm if all the plumbing systems conform to current regulations. We recommend that specific enquiry be made of the vendors through your solicitor to ascertain whether any alterations to the internal plumbing have been made, and if so to check that these were done by qualified and competent contractors. Outside taps should be insulated to prevent freezing in cold weather.

Condition Rating 3.

# F

## Services

### F4 Heating

Heating is provided by an oil fired combination boiler located in the blind passage to the west. The vendors were on hand during the inspection to turn on the central heating, this was operational at the time of our inspection however, was not tested in detail. Please refer to our comments about the validity of safety evidence provided (below).

3

We were unable to verify the output of the boiler and no calculations have been made to verify its adequacy. Furthermore, we were unable to verify if the boiler is correctly ventilated in accordance with current regulations.



All heating installations should be installed and serviced regularly (usually every year) by an appropriately qualified person. You should ask your legal advisor to confirm the validity of the gas/oil safety evidence provided (see section I).

We noted no evidence of weep leaks or damage to the radiators. These should be monitored after a period of inactivity as upon refiring it is possible that leaks at radiator joints may occur from contraction/expansion of components.

**Condition Rating 3.**





# Services

## F5 Water heating

<p>Water heating is off the combination boiler.</p> <p>All heating installations should be installed and serviced regularly (usually every year) by an appropriately qualified person. You should ask your legal advisor to confirm the validity of the gas/oil safety evidence provided (see section I).</p> <p>Condition Rating 3.</p>	<b>3</b>
--	----------

## F6 Drainage

<p>Not inspected. It was not possible to raise any manhole covers on the site and we are unable to comment on the efficacy or condition of the drainage system. If you have any doubts about the condition of the drains we recommend you have a CCTV drain survey undertaken. Any such test should be carried out prior to exchange of contracts.</p> <p>Condition Rating NI.</p>	<b>NI</b>
--	-----------

## F7 Common services

<p>None.</p>	
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Sample Report

# G

Grounds

(including shared areas for flats)

*Sample Report*

# G

## Grounds (including shared areas for flats)

### Limitations on the inspection

The boundary walls and fences have not been inspected in detail and only significant visible defects in boundaries, paths, retaining walls, and drives are reported. References to potential hazards are included only when readily apparent and visible.

We have not checked for Japanese Knotweed (JKW) or other invasive plants, however, if any suspected invasive plants were visible during our inspection these will be noted. It is recommended that you commission an inspection and report from a qualified specialist if you have concerns about invasive plants, as we cannot rule out the possible presence of JKW or other invasive plant species.

We have not consulted British Geological Survey or Ordnance Survey maps as regards the previous use of the site. We are unable to comment therefore as to whether there are any hidden or potential problems within the ground upon which the property is built. Your solicitors should check this.

### G1 Garage

1 2 3 NI

None. The property's garage has been converted to habitable space based on the 2013 Planning Permission and the condition of the garage is described in Sections D2 through E8, above.

### G2 Permanent outbuildings and other structures

None. The property has a non-permanent timber shed which was not inspected.

Sample Report

# G

## Grounds (including shared areas for flats)

### G3 Other

The east front garden wall is in extremely poor condition and shows evidence for structural movement. There are considerable sections of loose masonry and the wall can be easily moved by hand. A video file of this defect will be provided to you along with the PDF copy of this report. In its present condition, the wall poses a serious hazard and you are advised to obtain quotations for its repair urgently. If sections of masonry were to fall onto the public highway or injure passersby you, as the property owner, could be found liable.

3

Other boundaries appeared to be in generally satisfactory condition as did the decking at the rear, however, we refer you back to our note about the flush threshold in Section D6, above. The east passage gate was generally operational however, the locking mechanism is loose.

Condition Rating 3.



# H

## Issues for your legal advisors

We do not act as a legal advisor and will not comment on any legal documents, however, if, during the inspection, we identify issues that your legal advisors may need to investigate further, we may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows). You should show your legal advisors this section of the report.

Sample report

# Issues for your legal advisors

## H1 Regulation

You should ask your legal advisor to investigate and advise upon whether Local Authority notifications and approvals for past alterations have been obtained, if needed, and that all statutory inspections have been made. If regulations have been breached or work carried out without the necessary approvals and inspections, extensive and costly alteration works may be needed to ensure compliance.

## H2 Guarantees

You should ask your legal advisor to ensure retention of any rights or guarantees which will need to be reserved for you and to clarify any liabilities that you may have to others.

You should also ask your legal advisor to investigate and advise upon any warranties or guarantees connected with the property such as:

- Damp and timber treatment
- Electricity test certificate
- Blown cavity wall insulation certificate
- Gas/Oil test certificate
- Heating servicing records
- Water heating servicing records
- FENSA certificates
- Chimney sweeping and flue lining records

## H3 Other matters

You should ask your legal advisor to investigate and advise upon:

- The existence of any current planning applications affecting adjoining properties or land.
- We assume there are no covenants attached to the title that could affect value. This should be confirmed by your legal advisor.
- We are informed that the property is in Council Tax Band 'B'. This should be confirmed by your legal advisor.
- The property's Council Tax record shows an 'improvement indicator' which suggests the property may be revalued and placed in a higher Council Tax Band upon its next change of ownership. This change may well be your intended purchase and you should ask your legal advisor to comment on the implications of this.
- Party Wall: any repairs to the walls between adjoining properties may involve a Party Wall Agreement.

# I

## Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and cannot be reasonably changed.

Sample Report

# I

## Risks

### I1 Risks to the building

None other than those already noted in sections A-H, above.

### I2 Risks to the grounds

We have not checked for Japanese Knotweed (JKW) or other invasive plants, however, if any suspected invasive plants were visible during our inspection these will be noted. It is recommended that you commission an inspection and report from a qualified specialist if you have concerns about invasive plants, as we cannot rule out the possible presence of JKW or other invasive plant species.

### I3 Risks to people

The electrical installation should be tested by an appropriately qualified specialist if a current safety certificate is not available.

Smoke detectors should be correctly fitted and regularly maintained and tested.

Parts of the property may contain small amounts of asbestos fibres and could be a safety hazard when disturbed.

You should also ask your legal advisor to investigate and advise upon:

- Electricity test certificate
- Gas/Oil test certificate
- Heating servicing records
- Chimney sweeping records

Sample Report



# I

## Risks

### I4 Other risks or hazards

There is a utility pole and its guy wires, as well as over-sailing cables at the front boundary. Your legal advisor should query any rights of way or easements in favour of utility companies as well as any access requirements for maintenance of this equipment as they may pose a nuisance.

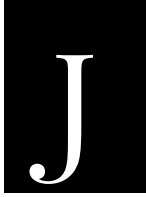


Sample

J

Surveyor's declaration

*Sample Report*



# Surveyor's declaration

Surveyor's RICS number

1234567

Phone number

01603 605 610

Company

Peer | King Surveyors

Surveyor's Address

St George's Works, 51 Colegate, Norwich NR3 1DD

Qualifications

MRICS

Email

hello@peerkingsurveyors.com

Website

peerkingsurveyors.com

Property address

70 Any Street  
Norwich  
NR1 1AA

Client's name

Mr A & Mrs B Sample

Date this report was produced

21 October 1066

I confirm that I have inspected the property and prepared this report.

Signature

*P. King*

Sample Report

# K

What to do now

*Sample Report*

# K

## Further investigations and getting quotes

We have provided advice below on what to do next, now that you have an overview of any work to be carried out on the property. We recommend you make a note of any quotations you receive.

### Getting quotations

The cost of repairs may influence the amount you are prepared to pay for the property. Before you make a legal commitment to buy the property, you should get reports and quotations for all the repairs and further investigations the surveyor may have identified. You should get at least two quotations from experienced contractors who are properly insured.

You should also:

- ask them for references from people they have worked for
- describe in writing exactly what you will want them to do and
- get them to put their quotation in writing.

Some repairs will need contractors who have specialist skills and who are members of regulated organisations (for example, electricians, gas engineers, plumbers and so on). You may also need to get Building Regulations permission or planning permission from your local authority for some work.

### Further investigations and what they involve

If we are concerned about the condition of a hidden part of the building, could only see part of a defect or do not have the specialist knowledge to assess part of the property fully, we may have recommended that further investigations should be carried out to discover the true extent of the problem.

This will depend on the type of problem, but to do this properly, parts of the home may have to be disturbed, so you should discuss this matter with the current owner. In some cases, the cost of investigation may be high.

When a further investigation is recommended, the following will be included in your report:

- a description of the affected element and why a further investigation is required
- when a further investigation should be carried out and
- a broad indication of who should carry out the further investigation.

### Who you should use for further investigations

You should ask an appropriately qualified person, although it is not possible to tell you which one. Specialists belonging to different types of organisations will be able to do this. For example, qualified electricians can belong to five different government-approved schemes. If you want further advice, please contact the surveyor.

# L

Description of the RICS Home Survey –  
Level 2 (survey only) service and terms of  
engagement

*Sample Report*

# L

## Description of the RICS Home Survey – Level 2 (survey only) service and terms of engagement

### The service

The RICS Home Survey – Level 2 (survey only) service includes:

- a physical **inspection** of the property (see 'The inspection')
- a **report** based on the inspection (see 'The report') and

The surveyor who provides the RICS Home Survey – Level 2 (survey only) service aims to give you professional advice to help you to:

- make an informed decision on whether to go ahead with buying the property
- make an informed decision on what is a reasonable price to pay for the property
- take into account any repairs or replacements the property needs, and
- consider what further advice you should take before committing to purchasing the property.

Any extra services provided that are not covered by the terms and conditions of this service must be covered by a separate contract.

### The inspection

The surveyor inspects the inside and outside of the main building and all permanent outbuildings, recording the construction and significant visible defects that are evident. This inspection is intended to cover as much of the property as is physically accessible. Where this is not possible, an explanation is provided in the 'Limitations on the inspection' box in the relevant section of the report.

The surveyor does not force or open up the fabric of the building. This includes taking up fitted carpets, fitted floor coverings or floorboards; moving heavy furniture; removing the contents of cupboards, roof spaces, etc.; removing secured panels and/or hatches; or undoing electrical fittings.

If necessary, the surveyor carries out parts of the inspection when standing at ground level, from adjoining public property where accessible. This means the extent of the inspection will depend on a range of individual circumstances at the time of inspection, and the surveyor judges each case on an individual basis.

The surveyor uses equipment such as a damp meter, binoculars and torch, and uses a ladder for flat roofs and for hatches no more than 3m above level ground (outside) or floor surfaces (inside) if it is safe to do so.

If it is safe and reasonable to do so, the surveyor will enter the roof space and visually inspect the roof structure with attention paid to those parts vulnerable to deterioration and damage. Although the surveyor does not move or lift insulation material, stored goods or other contents.

The surveyor also carries out a desk-top study and makes oral enquiries for information about matters affecting the property.

# L

## Description of the RICS Home Survey – Level 2 (survey only) service and terms of engagement

### Services to the property

Services are generally hidden within the construction of the property. This means that only the visible parts of the available services can be inspected, and the surveyor does not carry out specialist tests. The visual inspection cannot assess the efficiency or safety of electrical, gas or other energy sources. It also does not investigate the plumbing, heating or drainage installations (or whether they meet current regulations); or the internal condition of any chimney, boiler or other flue.

### Outside the property

The surveyor inspects the condition of boundary walls, fences, permanent outbuildings and areas in common (shared) use. To inspect these areas, the surveyor walks around the grounds and any neighbouring public property where access can be obtained. Where there are restrictions to access (e.g. a creeper plant prevents closer inspection), these are reported and advice is given on any potential underlying risks that may require further investigation.

Buildings with swimming pools and sports facilities are treated as permanent outbuildings and are therefore inspected, but the surveyor does not report on the leisure facilities, such as the pool itself and its equipment internally and externally, landscaping and other facilities (for example, tennis courts and temporary outbuildings).

### Flats

When inspecting flats, the surveyor assesses the general condition of the outside surfaces of the building, as well as its access and communal areas (for example, shared hallways and staircases that lead directly to the subject flat) and roof spaces, but only if they are accessible from within and owned by the subject flat. The surveyor does not inspect drains, lifts, fire alarms and security systems.

External wall systems are not inspected. If the surveyor has specific concerns about these items, further investigation will be recommended before making a legal commitment to purchase. Until these investigations are completed, the surveyor may not be able to provide you with a market valuation figure.

### Dangerous materials, contamination and environmental issues

The surveyor does not make any enquiries about contamination or other environmental dangers. However, if the surveyor suspects a problem, they should recommend further investigation.

The surveyor may assume that no harmful or dangerous materials have been used in the construction, and does not have a duty to justify making this assumption. However, if the inspection shows that such materials have been used, the surveyor must report this and ask for further instructions.



# L

## Description of the RICS Home Survey – Level 2 (survey only) service and terms of engagement

The surveyor does not carry out an asbestos inspection and does not act as an asbestos inspector when inspecting properties that may fall within The Control of Asbestos Regulations 2012 ('CAR 2012'). However, the report should properly emphasise the suspected presence of asbestos containing materials if the inspection identifies that possibility. With flats, the surveyor assumes that there is a 'dutyholder' (as defined in CAR 2012), and that there is an asbestos register and an effective management plan in place, which does not present a significant risk to health or need any immediate payment. The surveyor does not consult the dutyholder.

### The report

The surveyor produces a report of the inspection results for you to use, but cannot accept any liability if it is used by anyone else. If you decide not to act on the advice in the report, you do this at your own risk. The report objectively describes the condition of the elements and provides an assessment of the relative importance of the defects/problems. Although it is concise, the RICS Home Survey – Level 2 (survey only) report does include advice about repairs or any ongoing maintenance issues. Where the surveyor is unable to reach a conclusion with reasonable confidence, a recommendation for further investigation should be made.

### Condition ratings

The surveyor gives condition ratings to the main parts (the 'elements') of the main building, garage and some outside elements. The condition ratings are described as follows:

- **R** – Documents we may suggest you request before you sign contracts.
- **Condition rating 3** – Defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property. Written quotations for repairs should be obtained prior to legal commitment to purchase.
- **Condition rating 2** – Defects that need repairing or replacing but are not considered to be either serious or urgent. The property must be maintained in the normal way.
- **Condition rating 1** – No repair is currently needed. The property must be maintained in the normal way.
- **NI** – Elements not inspected.

The surveyor notes in the report if it was not possible to check any parts of the property that the inspection would normally cover. If the surveyor is concerned about these parts, the report tells you about any further investigations that are needed.

# L

## Description of the RICS Home Survey – Level 2 (survey only) service and terms of engagement

### Energy

The surveyor has not prepared the Energy Performance Certificate (EPC) as part of the RICS Home Survey – Level 2 (survey only) service for the property. Where the EPC has not been made available by others, the most recent certificate will be obtained from the appropriate central registry where practicable. If the surveyor has seen the current EPC, they will review and state the relevant energy efficiency and rating in this report. In addition, as part of the RICS Home Survey – Level 2 (survey only) service, checks are made for any obvious discrepancies between the EPC and the subject property, and the implications are explained to you.

### Issues for legal advisors

The surveyor does not act as a legal advisor and does not comment on any legal documents. If, during the inspection, the surveyor identifies issues that your legal advisors may need to investigate further, the surveyor may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows).

This report has been prepared by a surveyor merely in their capacity as an employee or agent of a firm, company or other business entity ('the Company'). The report is the product of the Company, not of the individual surveyor. All of the statements and opinions contained in this report are expressed entirely on behalf of the Company, which accepts sole responsibility for them. For their part, the individual surveyor assumes no personal financial responsibility or liability in respect of the report, and no reliance or inference to the contrary should be drawn.

In the case of sole practitioners, the surveyor may sign the report in their own name, unless the surveyor operates as a sole trader limited liability company.

Nothing in this report excludes or limits liability for death or personal injury (including disease and impairment of mental condition) resulting from negligence.

### Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and cannot be reasonably changed. If the property is leasehold, the surveyor gives you general advice and details of questions you should ask your legal advisors. The RICS Home Survey – Level 2 (survey only) report will identify and list the risks, and explain the nature of these problems.

# Description of the RICS Home Survey – Level 2 (survey only) service and terms of engagement

## Standard terms of engagement

**1 The service** – the surveyor provides the standard RICS Home Survey – Level 2 (survey only) service described in this section, unless you agree with the surveyor in writing before the inspection that the surveyor will provide extra services. Any extra service will require separate terms of engagement to be entered into with the surveyor. Examples of extra services include:

- costing of repairs
- schedules of works
- supervision of works
- re-inspection
- detailed specific issue reports and
- market valuation (after repairs).

**2 The surveyor** – The service will be provided by an AssocRICS, MRICS or FRICS member of the Royal Institution of Chartered Surveyors (RICS) who has the skills, knowledge and experience to survey and report on the property. Where the surveyor is also providing a valuation of the property, they have the skills, knowledge and experience to provide such a valuation, and are a member of the RICS Valuer Registration scheme.

**3 Before the inspection** – Before the inspection, you should tell us if there is already an agreed or proposed price for the property, and if you have any particular concerns about the property (such as a crack noted above the bathroom window or any plans for extension).

**4 Terms of payment** – You agree to pay our fee and any other charges agreed in writing.

**5 Cancelling this contract** – You should seek advice on your obligations under The Consumer Contracts (Information, Cancellation and Additional Charges) Regulations 2013 ('the Regulations') and/or the Consumer Rights Act 2015 in accordance with section 2.6 of the current edition of the Home survey standard RICS professional statement.

**6 Liability** – the report is provided for your use, and the surveyor cannot accept responsibility if it is used, or relied upon, by anyone else.

Note: These terms form part of the contract between you and the surveyor. This report is for use in the UK only.

## Complaints handling procedure

The surveyor will have a complaints handling procedure and will give you a copy if you ask for it. The surveyor is required to provide you with contact details, in writing, for their complaints department or the person responsible for dealing with client complaints. Where the surveyor is party to a redress scheme, those details should also be provided. If any of this information is not provided, please notify the surveyor and ask for it to be supplied.

# M

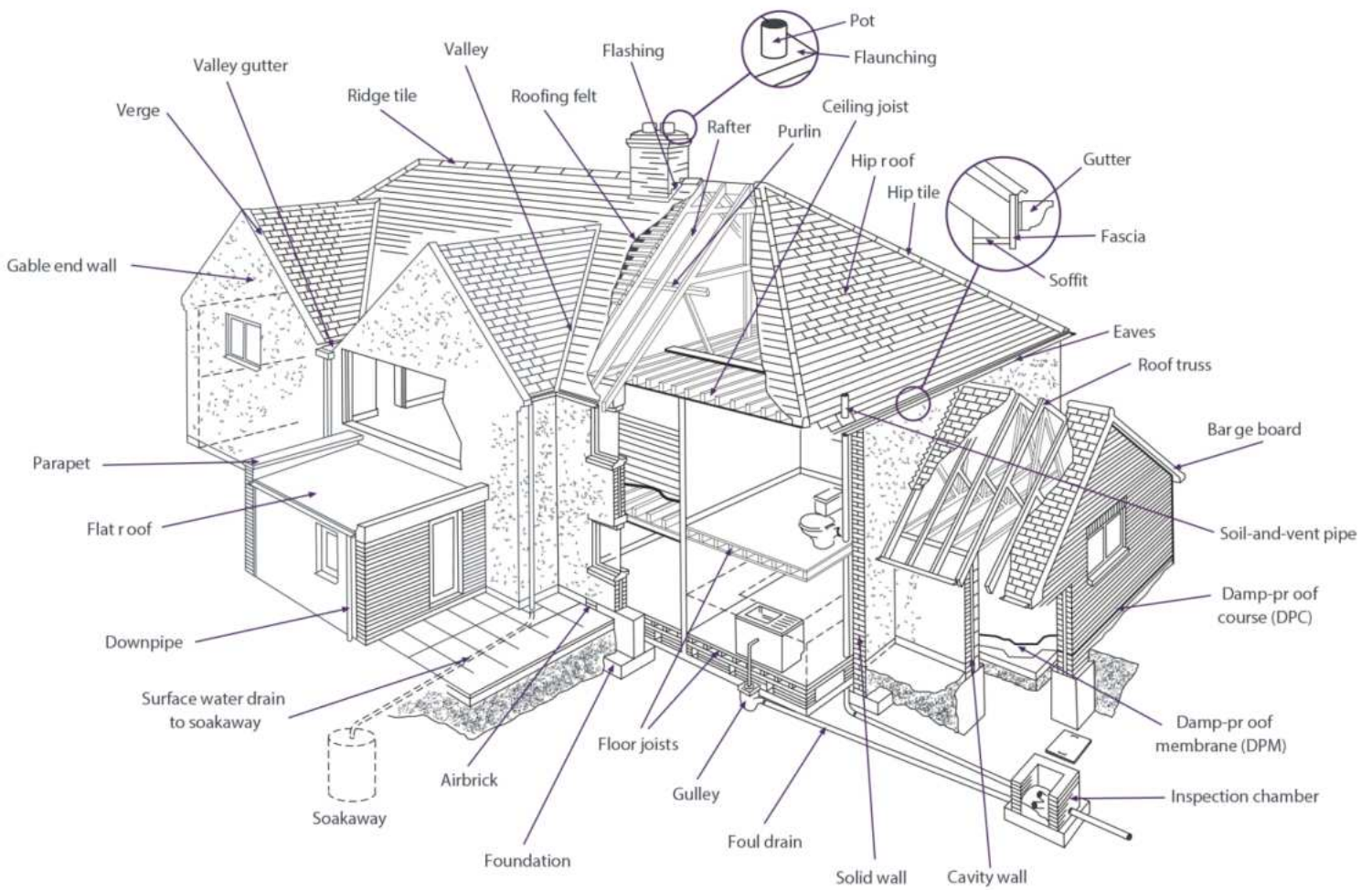
Typical house diagram

*Sample Report*



# Typical house diagram

This diagram illustrates where you may find some of the building elements referred to in the report.



# Glossary of terms

<b>Airbrick</b>	A brick with holes in it by design, used especially underneath timber floors and in roof spaces, to allow ventilation.
<b>Barge Board</b>	Also known as a 'Verge Board'. A board, usually wooden and sometimes decorative, placed on the edge, or verge, of a roof.
<b>Cavity Wall</b>	A wall built with two sets of bricks or blocks, with a gap, or cavity between them. Cavity is usually about 50mm.
<b>Ceiling Joist</b>	Horizontal piece of wood used to support a floor (above), or attach a ceiling (below). Sometimes also metal.
<b>Damp Proof Course (DPC)</b>	A layer of material that cannot be crossed by damp, built into a wall to prevent dampness rising up the wall, or seeping into windows or doors. Various methods can be used.
<b>Damp Proof Membrane (DPM)</b>	A sheet of material that cannot be crossed by damp, laid in solid floors.
<b>Downpipe</b>	A pipe that carries rainwater from the roof of a building.
<b>Eaves</b>	The overhanging edge of a roof.
<b>Fascia</b>	A board, usually wooden, that run along the top of a wall underneath the bottom of a sloping roof.
<b>Flashing</b>	Used to prevent water leaking in at roof joints. Normally made from metal, but can also be cement, felt, or other effective material.
<b>Flat Roof</b>	A roof specifically designed to sit as flat as possible, typically having a pitch of no more than 15 degrees. A flat roof usually has the following components: 1. Waterproofing, 2. Insulation, 3. Vapour Barrier, 4. Substrate or sheathing (the surface that the roof is laid on), 5. Joists, and 6. Plasterboard ceiling.



## Glossary of terms

Flaunching	Shaped cement around the base of chimney pots, to keep the pot in place and so that rain will run off.
Floor Joists	Horizontal piece of wood used to support a floor. Sometimes also metal.
Foul Drain	A pipe that conveys sewage or waste water from a toilet, etc, to a sewer
Foundation	Normally made of concrete, a structural base to a wall to prevent it sinking into the ground. In older buildings foundations may be made of brick or stone.
Gable End Wall	The upper part of a wall, usually triangular in shape, at the end of a ridged roof.
Gulley	An opening into a drain, usually at ground level, so that water etc. can be funnelled in from downpipes and wastepipes.
Gutter	A trough fixed under or along the eaves for draining rainwater from a roof.
Hip	The outside of the join where two roof slopes connect.
Hip Roof	A roof where all sides slope downwards and are equal in length, forming a ridge at the top.
Hip Tile	The tile covering the hip of a roof, to prevent rain getting in.
Inspection Chamber	Commonly called a man-hole. An access point to a drain with a removable cover.
Parapet	A low wall along the edge of a flat roof, balcony, etc.
Purlin	A horizontal beam in a roof, on which the roof rafters rest.

## Glossary of terms

Rafter	A sloping roof beam, usually wooden, which forms and supports the roof.
Ridge Tile	The tiles that cover the highest point of a roof, to prevent rain getting in.
Roof Truss	A structural framework, usually triangular and made from wood or metal, used to support a roof.
Roofing Felt	A type of tar paper, used underneath tiles or slates in a roof. It can help to provide extra weather protection.
Soakaway	An area for the disposal of rainwater, usually using stones below ground sized and arranged to allow water to disperse through them.
Soffit	A flat horizontal board used to seal the space between the back of a fascia or barge board and the wall of a building.
Soil and vent Pipe	Also known as a soil stack pipe. Typically a vertical pipe with a vent at the top. The pipe removes sewage and dirty water from a building, the vent at the top carries away any smells at a safe height.
Solid Wall	A wall with no cavity.
Surface Water Drain	The drain leading to a soakaway.
Valley	Where two roof slopes meet and form a hollow.
Valley gutter	A gutter, usually lined with Flashing, where two roof slopes meet.
Verge	The edge of a roof, especially over a gable.

## RICS disclaimer

### You should know...

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Sample