

Sample Report

LEVEL 3 Your Survey Report

Property Address 42 Any Street
Norwich
NR1 1AA

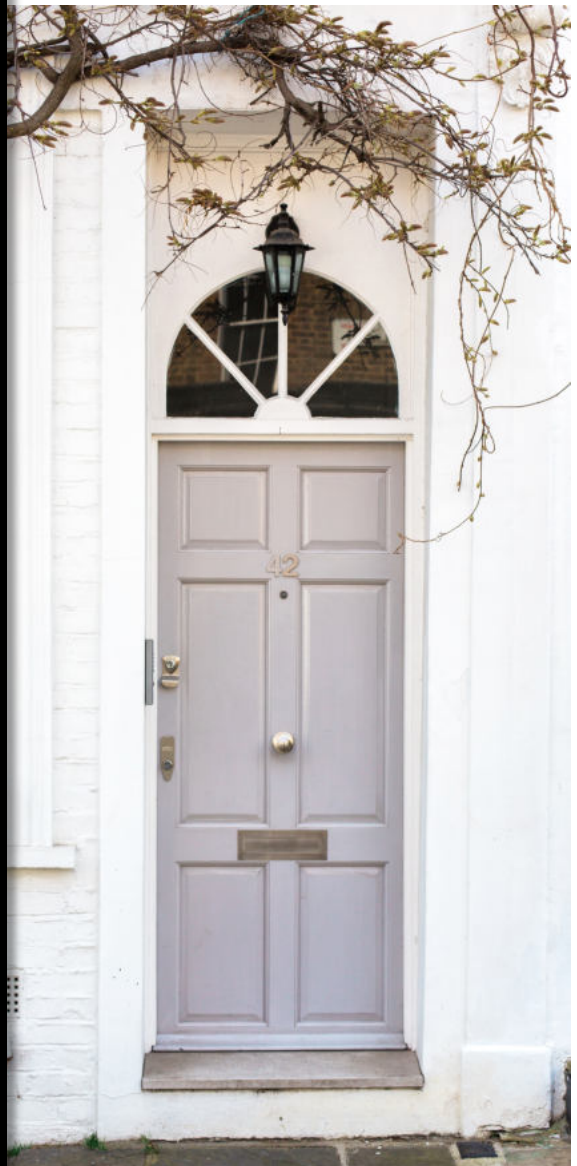
Client's Name Mr A & Mrs B Sample

Consultation date (if applicable)

Inspection date 14 October 1066

Surveyor's RICS number 1234567

3



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A

About the inspection and report

This RICS Home Survey – Level 3 (survey only) has been produced by a surveyor, who has written this report for you to use. If you decide not to act on the advice in this report, you do so at your own risk.

Sample Report

As agreed, this report will contain the following:

- a physical inspection of the property (see 'The inspection' in section M) and
- a report based on the inspection (see 'The report' in section M).

About the report

We aim to give you professional advice to:

- make a reasoned and informed decision on whether to go ahead with buying the property, or when planning for repairs, maintenance or upgrading the property
- provide detailed advice on condition
- describe the identifiable risk of potential or hidden defects
- propose the most probable cause(s) of the defects, based on the inspection
- where practicable and agreed, provide an estimate of costs and likely timescale for identified repairs and necessary work, and
- make recommendations as to any further actions to take or advice that needs to be obtained before committing to a purchase

Any extra services we provide are not covered by these terms and conditions, and must be covered by a separate contract.

About the inspection

- We carry out a desk-top study and make enquiries for information about matters affecting the property.
- We carefully and thoroughly inspect the property, using reasonable efforts to see as much of it as is physically accessible. Where this is not possible, an explanation will be provided.
- We visually inspect roofs, chimneys and other surfaces on the outside of the building from ground level and, if necessary, from neighbouring public property and with the help of binoculars.
- We inspect the roof structure from inside the roof space if there is access. We examine floor surfaces and under-floor spaces, so far as there is safe access and with permission from the owner. We are not able to assess the condition of the inside of any chimney, boiler or other flues.
- If we are concerned about parts of the property that the inspection cannot cover, the report will tell you about any further investigations that are needed.
- Where practicable and agreed, we report on the cost of any work for identified repairs and make recommendations on how these repairs should be carried out. Some maintenance and repairs that we suggest may be expensive.
- We inspect the inside and outside of the main building and all permanent outbuildings. We also inspect the parts of the electricity, gas/oil, water, heating, drainage and other services that can be seen, but these are not tested other than normal operation in everyday use.
- To help describe the condition of the home, we give condition ratings to the main parts (the 'elements') of the building, garage, and some parts outside. Some elements can be made up of several different parts.
- In the element boxes in sections D, E, F and G, we describe the part that has the worst condition rating first and then outline the condition of the other part.

(!) Reminder – Please refer to your Terms and Conditions that were sent to you at the point you (the client) confirmed your instructions to us (the firm), for a full list of exclusions.



About the inspection

Surveyor's name

Peer King

Surveyor's RICS number

1234567

Company name

Peer | King Surveyors

Date of the inspection

14 October 1066

Report reference number

123-3-NR11AA

Related party disclosure

No conflict. I am not aware that there is any conflict of interest as defined in the RICS Valuation Standards and RICS Rules of Conduct.

Full address and postcode of the property

42 Any Street

Norwich

NR1 1AA

Weather conditions when the inspection took place

19°C and sunny, wind from south at 11mph; the period of weather preceding the inspection was of similar temperatures and overcast, with 0mm rainfall in the 24 hours prior.

Status of the property when the inspection took place

The property was unoccupied but furnished at the time of my inspection. Floor coverings, fixed units, and unmoved furniture may have limited inspection of hidden areas of the property. In the absence of cardinal points (i.e. North, South, East, West), directional references to the exterior of the property (i.e. Left and Right) are taken as if facing the FRONT elevation of the property from the road.

B

Overall opinion

This section provides our overall opinion of the property, highlights any areas of concern and summarises the condition ratings of the different elements of the property. Individual elements of the property have been rated to indicate any defects, and have been grouped by the urgency of any required maintenance. If an element is made up of a number of different parts (for example, a pitched roof to the main building and a flat roof to an extension), only the part in the worst condition is shown here.

Important note

To get a balanced impression of the property, we strongly recommend that you read all sections of the report, in particular section L, What to do now, and discuss this with us if required.

Sample Report

B

Summary of condition ratings

Overall opinion of property

The property is suffering from several serious defects that require immediate repair. You should pay particular attention to those items marked with a red '3' in the report. The property is in need of extensive remedial/modernisation works and it is recommended that if you wish to proceed you first obtain further advice and quotations as discussed in the report. The property is Grade II listed and in a conservation area, and specialist contractors will be required given its historic nature; there will also be additional administrative requirements and consents which will increase the cost of works.

The property is, on the whole, a reasonable proposition for purchase provided you are prepared to accept the costs and inconvenience of dealing with the various repairs/improvement works drawn to your attention within this report. Provided the necessary work is carried out to a satisfactory standard we see no reason why there should be any special difficulties upon resale, provided the property is correctly priced and marketed.

We noted some materials that could contain asbestos, however, this can only be confirmed by a sample being tested by a laboratory. Until the presence of asbestos has been confirmed, the noted areas should not be sanded, drilled or disturbed without taking suitable precautions. You can obtain further information from a Local Authority Environmental Health Officer or from the Government's Health and Safety Executive. Whilst we found no serious disrepair to the relevant areas, there is public concern about the presence of any asbestos in a property. This could affect future resale values particularly if the material has to be removed by a specialist contractor. It would be sensible therefore to make enquiries now about the cost of replacing the material, should this be necessary.

It is essential to maintain adequate ventilation beneath timber ground floors to avoid moisture conditions that can lead to underfloor rot attack. It is impossible to inspect these areas without taking the floors up, which is outside the scope of this report. We found no signs of wood boring beetle infestation, however, older properties such as this one are susceptible to attack in concealed areas. You may therefore consider it prudent to instruct a timber specialist to report specifically on these issues.

As soon as you receive the quotations and reports for works specified, and also the responses from your legal advisor, we would be pleased to advise whether or not they would cause us to change the advice or valuation given herein.

We must make you aware that should you decide to exchange contracts without obtaining this information, you must accept the risk that adverse factors might come to light in the future.

This report is designed to give comment to the overall condition of the property at the time of inspection and is not an inventory of every single defect. No liability can be accepted for any deterioration in the property's condition after the inspection date. If, after reading and considering this report, you intend to proceed with the purchase, you are advised to send a copy as soon as possible to your legal advisor.

B

Summary of condition ratings

To determine the condition of the property, we assess the main parts (the 'elements') of the building, garage and some outside areas. These elements are rated on the urgency of maintenance needed, ranging from 'very urgent' to 'no issues recorded'.



Documents we may suggest you request before you sign contracts

There are documents associated with the following elements. Check these documents have been supplied by your solicitor before exchanging contracts.

Element no.	Document name	Received
F1	Electricity Safety Certificate	
F2	Gas/Oil Safety Certificate	
F3	Water Regulations Certificate	
F4	Heating (Gas/Oil) Safety Certificate	
F5	Water Heating (Gas/Oil) Safety Certificate	

Sample Report

Summary of condition ratings

3

Elements that require urgent attention

These elements have defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property.

Element no.	Element name	Comments (if applicable)
D1	Chimney Stacks	Out of plumb, extensive spalling and pointing failures
D2	Roof Coverings	Very poor condition, re-covering required now
D3	Rainwater Pipes and Gutters	Largely perished, replace now
D4	Main Walls	Full repointing required
D5	Windows	Painted shut, mechanisms broken; replace now
E3	Walls	Penetrating damp
F1	Electricity	Safety certificate
F2	Gas/Oil	Safety certificate
F3	Water	Regulations certificate
F4	Heating	Safety certificate
F5	Water Heating	Safety certificate

Sample Report

B

Summary of condition ratings

2

Elements that require attention but are not serious or urgent

These elements have defects that need repairing or replacing, but are not considered to be either serious or urgent. These elements must also be maintained in the normal way.

Element no.	Element name	Comments (if applicable)
D6	Outside Doors and Patio Doors	
D7	Conservatories & Porches	
D8	Other Joinery and Finishes (Soffits, Fascias, etc...)	
E1	Roof Structure and Roof Space	
E2	Ceilings	
E4	Floors	
E5	Fireplaces, Chimney Breasts and Flues	
E6	Built-in Fittings (Kitchens)	
E7	Woodwork	
E8	Bathroom Fittings	
G3	Grounds Generally (Gardens, Paths, Common Parts to Flats, etc...)	

Sample Report

B

Summary of condition ratings

1

Elements with no current issues

No repair is currently needed. The elements listed here must be maintained in the normal way.

Element no.	Element name	Comments (if applicable)
-	-	-

NI

Elements not inspected

We carry out a visual inspection, so a number of elements may not have been inspected. These are listed here.

Element no.	Element name	
F6	Drainage	Manholes not lifted
G2	Outbuildings	Overgrown; not visible, not inspected

Sample Report

B

Summary of condition ratings

Summary of repairs

Formal quotations should be obtained prior to making a legal commitment to purchase the property.

Repairs
Repointing and repairs to chimneys; possible rebuild (see D1)
Re-covering of roof required now, with associated repairs e.g. valleys, parapets (see D2)
Replace rainwater goods throughout (see D3)
Repoint exterior elevations, remove climbing plants (see D4)
Replace windows (see D5)
Localised repairs/replacement to exterior timber components i.e. doors, porch, fascias (see D6, D7, D8)
Localised replastering/redecoration to areas suffering penetrating damp – after external repairs (see E3)
Ventilation to redundant chimney flues (see E5)
Internal refurbishment and repairs as noted (see section E generally)

Further investigations

Further investigations should be carried out before making a legal commitment to purchase the property.

We found signs of historic wood boring beetle (woodworm) infestation, and older properties such as this one are always susceptible to attack in concealed areas such as lofts and floor voids. It is impossible to inspect these areas without taking the floors up, which is outside the scope of this report, and you may therefore consider it prudent to instruct a timber specialist to report specifically on these issues and ask your legal advisor to obtain copies of guarantees for any treatment already carried out.

We noted some materials that could contain asbestos, however, this can only be confirmed by a sample being tested by a laboratory. Until the presence of asbestos has been confirmed, the noted areas should not be sanded, drilled or disturbed without taking suitable precautions. You can obtain further information from a Local Authority Environmental Health Officer or from the Government's Health and Safety Executive. Whilst we found no serious disrepair to the relevant areas, there is public concern about the presence of any asbestos in a property. This could affect future resale values particularly if the material has to be removed by a specialist contractor. It would be sensible therefore to make enquiries now about the cost of replacing the material, should this be necessary.

C

About the property

This section includes:

- About the property
- Energy efficiency
- Location and facilities

Sample Report



About the property

Type of property

Semi-detached house

Approximate year the property was built

18th century with later additions; the property is Grade II listed and an excerpt from its list entry is included below:

Location

Statutory Address:

The building or site itself may lie within the boundary of more than one authority.

County: **Norfolk**

District:

Parish:

National Grid Reference:



Details

II

C18 and later. Red brick and flint. Pantiled roof, partly black glazed. Two storeys. Sashes with glazing bars, cambered brick arches. Some modern casements. Off-centre doorway on south side with canopy with console brackets. Remains of moulded brick string course. Parapeted gables. Chimney on east gable and off-centre on south side. Entrance door with moulded doorcase on east side. Remains of brick corner pilasters.

C

About the property

Approximate year the property was extended

Unknown; there is no online planning history available for the site, your legal advisor should make the appropriate enquiries.

Approximate year the property was converted

Unknown; the subject property likely originally formed part of a single house with the next door of the pair.

Information relevant to flats and maisonettes

N/A

Construction

The property is built using traditional materials and techniques. The walls of the main body of the property are solid brick with flint dressings. The main roof is pitched and clad in pantile. The internal floors are solid construction at ground floor and suspended timber at first floor. The property is purpose-built as a dwelling and has not been converted from non-residential use.

Accommodation

	Living Rooms	Bedrooms	Bath or Shower	Separate WC	Kitchen	Utility Room	Conservatory	Other
Ground	2	1		1	1			Inner Hall
First		3	1	1				

C

About the property

Means of escape

The property is not fitted with a heat detector in the kitchen nor with smoke detectors in the bedrooms, and the doors are not FD30 fire rated. You are advised to consider the installation of a comprehensive smoke / heat detection system to LD3 standard under BS 5839 Pt 6: 2019 with heat detector in the kitchens and smoke detection in the living rooms and all bedrooms.



Sample

C

Energy efficiency

We are advised that the property's current energy performance, as recorded in the EPC, is as stated below.

We have checked for any obvious discrepancies between the EPC and the subject property, and the implications are explained to you. We will advise on the appropriateness of any energy improvements recommended by the EPC.

Energy efficiency rating

None (see below)

Issues relating to the energy efficiency rating

Listed Buildings are exempt from providing an EPC insofar as compliance with certain minimum energy performance requirements would unacceptably alter their character or appearance.

Current regulations require properties to have a minimum EPC rating of 'E' in order to be let, unless exemptions apply. HM Government has advised that they intend to introduce legislation increasing this to a minimum rating of 'C' from 2025, however, on 20 September 2023 HM Government announced it would no longer seek to create policies that 'force' landlords to upgrade energy efficiency, but instead continue to 'encourage households' to do so. You should be aware that there remains a risk of further U-turns on EPC ratings for let properties, either from this or future governments.

Mains services

A marked box shows that the relevant mains service is present.

Gas Electric Water Drainage

Central heating

Gas Electric Solid Fuel Oil None

Other services or energy sources (including feed-in tariffs)

N/A

Other energy matters

N/A

Grounds

The property has no front garden and fronts directly onto the public highway. There is access through a gate from a shared drive at North, leading to a pea shingle clad and paved rear garden with mature planting, trees, and timber boundaries.



Location

The property is located in NR1, in close proximity to the town centre. The nearby A999 provides easy access to Norwich. Norwich station is served by Greater Anglia and EMR trains, and has connections to London, Liverpool, Cambridge, and other county destinations. The surrounding properties appeared pleasant and well-kept.

Facilities

The property is within easy reach of all daily and lifestyle amenities.

Local environment

The property is deemed at high risk of surface water flooding:

Surface water [More about your surface water flood risk](#)

Yearly chance of flooding

Very low Low Medium **High**

What surface water is

Surface water flooding is sometimes known as flash flooding. It happens when rainwater cannot drain away through normal drainage systems.

[Why surface water flooding is a problem](#)

Rivers and the sea [More about your rivers and sea flood risk](#)

Yearly chance of flooding

Very low Low Medium High

What makes rivers and sea flooding more likely

Low-lying areas that are close to rivers or the sea are more likely to flood when water levels rise.

This information takes into account any flood defences.

[Why flood defences cannot completely prevent flooding](#)

Other flood risks [More about groundwater and reservoirs](#)

Groundwater	Flooding from groundwater is unlikely in this area.
Reservoirs	Flooding from reservoirs is unlikely in this area.

Other local factors

We have not checked for Japanese Knotweed (JKW) or other invasive plants, however, if any suspected invasive plants were visible during our inspection these will be noted. It is recommended that you commission an inspection and report from a qualified specialist if you have concerns about invasive plants, as we cannot rule out the possible presence of JKW or other invasive plant species.

D

Outside the property

Sample text

D

Outside the property

Limitations on the inspection

Our inspection of the property was limited to those parts that could be seen from ground level within the boundaries of the property and from the public highway. It is therefore possible that defects may exist in unseen areas. Extended camera angles such as those available from drone footage may be used to help understand and describe parts of the property, however, the existence of such imagery does not alter the terms of our engagement and cannot be relied upon for defect diagnosis.

Large portions of the rear walls were covered in climbing plants and our inspection was therefore limited. Also access to the south elevation of the property is demised through the garden of #44, which could not be accessed. The south elevation was therefore inspected only from the public highway.



D

Outside the property

D1 Chimney stacks

1 2 3 NI

The property has a single chimney stack at the southeast gable end, carrying 2# open flues, and there is no flaunching present nor indeed any pointing to the brickwork at the top. Pointing is in very poor condition throughout and brick spalling is visible; some masonry is likely to be loose and hazardous. Flashings are in average condition and although generally dressed into place, major gaps are visible. There is evidence for historic repairs with cement mortar, which is inappropriate as the mortar will be harder than the underlying brick and is one likely cause of cracking and spalling to the brickwork.

3

Complete repointing is required now, including the capping of any unused flues and provision of ventilation from below (see E5). The chimney stack is slightly out of plumb also, and given its poor condition it may be more economical (or possibly necessary) to rebuild it in its entirety, which will require relevant consents as the property is listed. You must obtain quotations for these works prior to making a legal commitment to purchase.

Chimney stacks are particularly exposed to the weather and regular maintenance must be carried out to ensure their stability and weather tightness. Any unused flues should be capped and ventilated internally and externally in order to minimise the risk of damp penetration or condensation build-up within the flues.

Condition Rating 3.



Continues...

D

Outside the property

... continued



Continues...

D

Outside the property

... continued



D

Outside the property

D2 Roof coverings

The main roof is pitched and clad in pantile. The main ridge runs north-south, with a section of east-west cross-wing adjoining #44. There is minor distortion commensurate with age throughout, as well as surface damage (known as 'shaling') occurring to the tiles, evident from debris shards across the majority of the roof and particularly visible at the rear. There is significant slippage of tiles which are generally poorly fitted, damage to ridge mortar, some cracked tiles, and untidy parapet flashings. As with the chimney, parapet brickwork is in very poor condition and requires complete repointing now. Valleys are damaged and blocked with debris; valleys are always potential problem areas and should be regularly inspected and repaired. There is also damage to tiles around the soil vent pipe (SVP) penetration, and trailing cables around the chimney, which can flail in high wind and catch tiles, causing slippage and cracking as well as a risk of falling debris to passers-by below.

The roof is past its serviceable life and requires recovering now to stop further damage and prevent leaks. Given the extensive wear it is possible some underlying timbers may need replacement also. You should not proceed with the purchase before obtaining quotes for these works from a competent contractor, including allowing for all relevant consents as the building is listed and in a conservation area.

Condition Rating 3.



Continues...

3

D

Outside the property

... continued



Continues...

D

Outside the property

... continued



Continues...

D

Outside the property

... continued



D

Outside the property

D3 Rainwater pipes and gutters

Guttering is predominantly cast iron and in very poor condition throughout. Gutters connect into PVC downpipes, which are aged and likely to be brittle, and also their rubber seals are likely beginning to perish, which will lead to leaking from the joints.

The northwest corner downpipe discharges directly to the ground. This can result in dampness to walls and softening of the ground beneath the foundations. The downpipe should be extended to discharge directly into the below ground surface water disposal system, preferably via open gulley with grille that can be visually inspected and maintained easily.

The rear guttering crosses the party wall line with #44 and discharges through a shared downpipe. The owner of the neighbouring property may have a number of legal rights over the shared drainage, and you should check with your legal advisor before any work is done.

The rainwater goods are showing signs of deterioration and failure, and a general overhaul is now recommended. Complete renewal is likely to be more economical than localised repair and you may find that replacing cast iron elements with modern PVC components is more cost-effective. Consents (conservation area, listed building) may be required.

Condition Rating 3.



3

D

Outside the property

D4 Main walls

The main walls are built of solid brick laid to Flemish bond (long-short-long) with flint dressings. Pointing is in generally very poor condition throughout, with extensive failures and spalling across all elevations. Major spalling and failure is particularly evident at the east and north gable ends, and brickwork is soft to touch; a video file will be provided along with the PDF copy of this report.

3



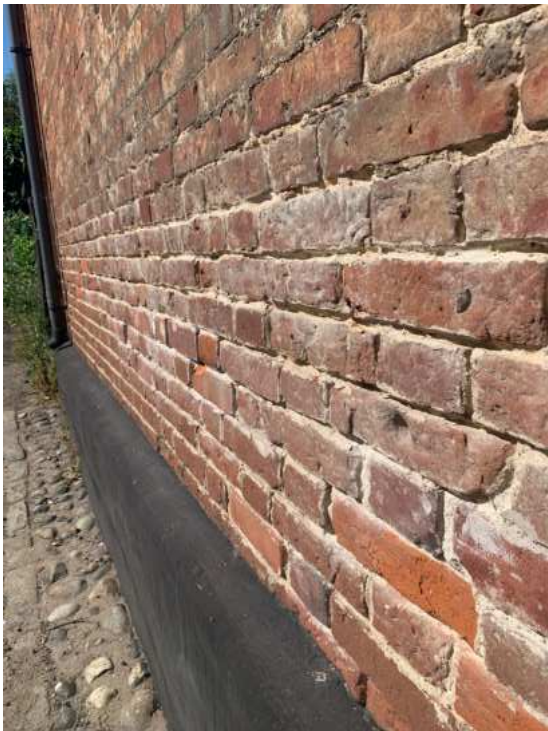
Sample

Continues...

D

Outside the property

... continued



Continues...

D

Outside the property

... continued



Continues...

D

Outside the property

... continued

Where the subject property joins #44 at rear the junction appeared in generally satisfactory condition with no major cracking noted, however, these areas and other pointing repairs have been done in cement mortar, which is inappropriate as the mortar will be harder than the underlying brick and is likely at least in part the cause of cracking and spalling to the brickwork. There are historic wall ties present and evidence of numerous phases of localised repair.



Sample

Continues...

D

Outside the property

... continued

A rendered plinth is positioned at low level. Rendered plinths are no longer considered to be an effective measure to prevent penetrating damp from passing through a solid wall. Instead, this can only magnify the problem, as moisture can become trapped behind the non-porous render and is instead forced towards internal areas, causing damp to form on connecting building elements and often remaining unnoticed until significant problems manifest. The render to the plinth is in generally poor condition also. Where walls are rendered we cannot comment on the condition of walling beneath and it is possible that the rendering may be concealing distortions to brickwork or other defects. It is recommended that the render be regularly coated with good quality masonry paint as its integrity is vital. Once water penetrates its external surface then damp is likely to occur internally and the render itself will continue to deteriorate.



As noted in Limitations, above some areas of walling were not visible due to extensive climbing plant growth. Plant roots will pull moisture into the brick and cause spalling, damp penetration, and numerous other issues. You should investigate the possibility of clearing the plants from the walls to ensure long-term health of the underlying masonry.

The walls are generally in need of complete repointing in lime mortar, and extensive repairs to prevent further deterioration and water ingress (see also E3). Works will require raking out of the existing pointing by hand and are likely to be extensive and costly, you should obtain quotations from a competent contractor prior to making a legal commitment to purchase the property.

Condition Rating 3.

D

Outside the property

D5 Windows

The windows are timber-framed, single-glazed units, a mixture of sashes and casements. They are in generally poor condition throughout with decorative failures and the onset of wood rot, as well as gaps to edges. The majority were either painted shut, had broken mechanisms, or were locked and could not be tested; only the 1st floor stair window and the window of bedroom 3 could be operated during our inspection.

3

Condensation may be encountered during the course of normal occupancy. If not managed correctly, condensation can lead to mould growth, which can have adverse health effects. Maintaining a reasonable balance between heating, ventilation, and insulation should prevent excessive condensation build-up. This may require a review of your lifestyle and occupancy of the building (e.g. opening windows, heating intervals, and use of appliances such as tumble dryers). There are no trickle vents and therefore no means of providing passive ventilation, which is critical in solid-walled properties.



Continues...

D

Outside the property

... continued

New regulation came into effect in 2002, and double-glazed windows fitted after that date must either be installed by qualified contractors (FENSA registered) or alternatively the subject of building regulation approval obtained at the time of installation. Your legal advisor should request certification if applicable.

It is unlikely to be economical to attempt repair of the existing windows and total replacement is now recommended. You should obtain quotations for these works prior to making a legal commitment to purchase the property, and consents (e.g. conservation area, listed building) will be required also. Replacement presents an opportunity to upgrade the property's thermal performance and ventilation.

Condition Rating 3.



D

Outside the property

D6 Outside doors (including patio doors)

The north door is built of hardwood timber with single-glazed vision panel and appears to be in generally average condition, with minor damage to the door leaf itself, putty failures, and edge grout that is poorly dressed and gappy. There were no visible signs of damage to the glass. The cill is intact and in good order, however, would benefit from a metal threshold plate to prevent wear to the timber. The door opened, shut, and locked cleanly.

2



Sample

Continues...

D

Outside the property

... continued

The west door is of similar construction and in generally similar condition, although with evidence of swelling and distortion and damage to putty seals. This door was not tested for operation as no key was provided.

The east door is also of hardwood construction and is in similarly average condition, with evidence of pointing failures at the flashing above the case, consistent with the very poor quality of brickwork and pointing generally (see D4, above). There is a step directly through the threshold which may prove a fall/trip hazard, and you should consider your occupancy requirements in this regard.

Condition Rating 2.



Survey Report

D

Outside the property

D7 Conservatory and porches

The property has a timber-framed porch with pantile roof at the north, which is in generally average condition. Roof tiles have slipped and are poorly fitted, and also show evidence of shaling as per the main roof. There are pointing failures at the junction with the rear elevation as well as gaps to the flashing. There is some moss and lichen growth. This should be removed periodically as it inhibits roof efficiency and could lead to rainwater goods becoming blocked. The guttering discharges directly to ground also (see D3, above), although the surface area of roof served by the downpipe is small. The soffit is in generally satisfactory condition, however, it is likely given the condition of the roof that leaks may be occurring above that are not visible at this time. A programme of localised repair is recommended now, and quotations should be obtained prior to exchange of contracts. The rainwater butt was not inspected in detail.

2

Condition Rating 2.



Continues...

D

Outside the property

... continued



Sample

D

Outside the property

D8 Other joinery and finishes

The property has limited areas of timber fascia and soffit that are in generally poor condition with evidence of wood rot. In view of the age and condition of the gutters we consider it possible that areas of hidden wet rot may well exist in fascia boards hidden behind the gutters and brackets also. Exterior timber joinery components require regular redecoration to prevent wood rot and ensure good aesthetics, and any quotations for roof and chimney works should include for replacement of guttering and fascia as required.

2

Condition Rating 2.



D9 Other

None

-

E

Inside the property

Sample Report

E

Inside the property

Limitations on the inspection

Furniture, personal items, and stored materials in cupboards restricted inspection to certain areas. Whilst we have taken all reasonable care, hidden defects may be present in areas that we were unable to inspect. Appliances and fittings such as kitchen items, baths, showers, etc... have not been tested.

Our inspection of the loft void was extremely restricted due to the limited height, and we were limited to a 'head and shoulders' inspection at the hatch only. Stored items also severely restricted our view.



Sample

E

Inside the property

E1 Roof structure

1 2 3 NI

The main roof is of rafter and purlin timber construction, typical for a house of this type and age. There is no ladder and no light. We noted minor deflection to timbers commensurate with age (see also D2), but no evidence of vermin. We found signs of historic wood boring beetle (woodworm) infestation, and older properties such as this one are always susceptible to attack in concealed areas such as lofts and floor voids. As per our advice in B – Further Investigations, above you may therefore consider it prudent to instruct a timber specialist to report specifically on these issues and ask your legal advisor to obtain copies of guarantees for any treatment already carried out. There is evidence for at least partial rebuilding of the north gable end in modern concrete block.

2



Continues...

E

Inside the property

... continued

The roofing felt is of a bitumen type, covered with a thin layer of glass fibre batt insulation that is unlikely to be providing much in the way of thermal protection. The felt will also not provide ventilation into the roof void, as there should be in order to prevent the possibility of damaging condensation occurring on the roof timbers or felt itself. A sample of damp meter readings to a selection of roof timbers tested dry on the day of inspection, however, we recommend the roof void is ventilated as part of re-roofing. Not all timbers were visible and given the poor condition of the roof covering some may require replacement as part of works. We had no access to the chimney breast in the loft to test for damp, but in light of the exterior condition of the chimney stack it is almost certain that high moisture levels will be present.

Condition Rating 2.



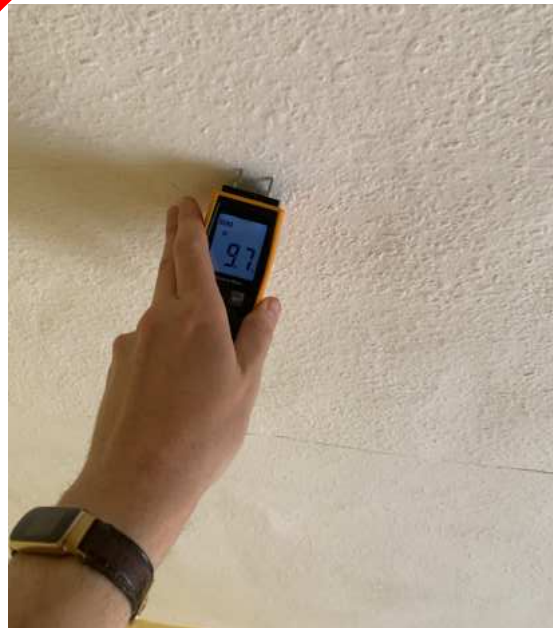
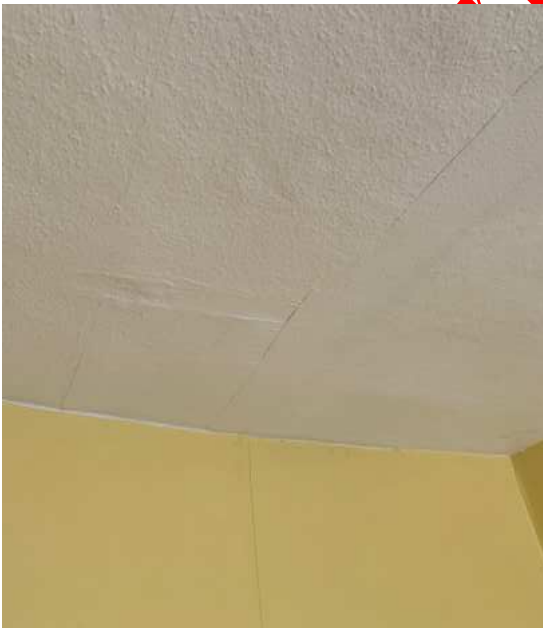
E

Inside the property

E2 Ceilings

Ceilings comprise painted lath and plaster, textured paper, and areas of exposed timber, with evidence of historic cracks and decorative imperfections consistent with the age and overall condition of the property; they are in average condition throughout. There is evidence of historic woodworm again (see also E1, above, and B – Further Investigations), and evidence for a historic leak in the bathroom, although a sample of damp meter readings in this location tested dry on the day of inspection.

2



Continues...

E

Inside the property

... continued

Textured 'wood chip' paper is extremely difficult to remove and it is likely that underlying ceiling will be damaged and require extensive repairs should you choose to do so. The stair soffit is comprised of a material likely to incorporate asbestos cement. Due care and attention should be taken when working with such material and appropriate safety and disposal measures should be in place.

Condition Rating 2.



Sample Report

E

Inside the property

E3 Walls and partitions

Internal walls are of painted skim plaster finish and areas of wallpaper, with evidence of historic cracks and decorative imperfections consistent with the age and overall condition of the property; they are in average condition throughout. A sample of damp meter readings at the north gable end tested high, likely due to the extremely poor condition of the brickwork and pointing (see D4, above). Similarly high readings were obtained around the window of bedroom 3, again likely from penetration of moisture due to poor wall condition, though damage to the window or guttering could also be at fault. Once the repairs noted in section D have been carried out, the affected areas should be re-plastered and re-decorated, then monitored for any further issues. A sample of perimeter damp meter readings at ground floor level all tested dry.

3

Condition Rating 3.



Continues...

E

Inside the property

... continued



E

Inside the property

E4 Floors

The ground floor is of solid construction. The first floor is of suspended timber construction and felt generally solid ('firm to foot'), and although a few floorboards were loose it did not noticeably flex or bounce when allowing consideration for the property's age and overall condition. Floor voids are a likely place for woodworm infestation in historic properties (see also B – Further Investigations, above), and a precautionary check of timbers may be prudent given visible evidence in the loft and ceilings. The carpets, tiles, and floor finishes throughout the property were generally in dated condition and would benefit from renewal.

Condition Rating 2.

2

Sample Report

E

Inside the property

E5 Fireplaces, chimney breasts and flues

Internal chimney breasts appeared plumb and sound, and a selection of damp meter readings around their bases and at flue height (approximately 1.5m above floor level) tested dry. Notwithstanding this, however, we had no access to the chimney breast at loft level, and given the condition of the stack externally we believe it almost certain that moisture is penetrating at high level (see D1, D2, and E1, above). The 1st floor flue has been blocked with a DIY solution that is not appropriate. Where chimneys are blocked, provision should be made for through ventilation to reduce the risk of condensation damp and we would therefore recommend the installation of suitable vents in order to increase airflow within the flue as part of planned works.

Condition Rating 2.

We cannot comment on the condition or adequacy of flues or the existence of any flue liners, but always recommend careful sweeping prior to usage. **Condition Rating NI.**

2



E

Inside the property

E6 Built-in fittings (built-in kitchen and other fittings, not including appliances)

The kitchen is fitted with built in fittings that are dated and in average condition. The sealants between the kitchen worktops and splashbacks appear to be failing in places, however, and these should be replaced and kept clean as their failure can result in damp ingress and wood rot. Some joinery is damaged and hinges are broken or in generally poor working order. There is mechanical ventilation present, which was functioning correctly during our inspection.

2

Condition Rating 2.



E

Inside the property

E7 Woodwork (for example staircase joinery)

Internal joinery is of typical softwood construction and is generally in average condition. This includes the doors, their frames and architraves, and skirtings. They would benefit from refurbishment or replacement and there is again evidence of historic woodworm (see B – Further Investigations, above).

Stairs and handrails are solid and firm-to-foot with no evidence of major gaps or movement. Handrails are firm and fixed at the correct height. The pitch of the stairs is very steep, typical for a property of this type and age, but on the whole the stairs are in good condition.

Condition Rating 2.

2

Sample Report

E

Inside the property

E8 Bathroom fittings

The 1st floor bathroom is fitted with modern sanitaryware that is in generally average condition. Sealants were in poor condition at the sink and should be replaced as they can leak and damage adjacent surfaces. If not repaired quickly, wood rot can soon develop. There is no mechanical ventilation present in the bathroom and therefore no effective means of managing condensation and bathroom odours.

2

The ground floor WC is similar and in similar condition, with mastic failures present. Mechanical ventilation is present but was not working during our inspection.

We recommend the installation of extractor fans to manage humidity levels (see also section J4).

Condition Rating 2.



E9 Other

None

-

F

Services

Services are generally hidden within the construction of the property. This means that we can only inspect the visible parts of the available services, and we do not carry out specialist tests. The visual inspection cannot assess the services to make sure they work efficiently and safely, and meet modern standards.

Sample Report

Services

Limitations on the inspection

As a general note regarding services, we are not specialised in this field and therefore recommend that you seek specialist advice on all service matters. The items below should be regarded as comments and suggestions, and not a full and complete assessment of any problems that may exist.

Mains services within this property have been subjected to a visual inspection only, and no intrusive checks were carried out. It was not possible to verify the condition of the underground supply pipe from the Water Authority mains to the point of entry into the property, and this length of pipe is the responsibility of the property owner. No services were tested.

F1 Electricity

1 2 3 NI

Safety warning: Electrical Safety First recommends that you should get a registered electrician to check the property and its electrical fittings at least every ten years, or on change of occupancy. All electrical installation work undertaken after 1 January 2005 should have appropriate certification. For more advice, contact Electrical Safety First.

The electricity meter and consumer board are located on the stair soffit. You should ensure that access to these services is kept clear at all times. The electricity supply was on when we inspected.



Guidelines advise that electrical installations should be tested every 10 years or upon change of ownership or occupation. You are recommended to consider the merits of this advice. You should ask your legal advisor to confirm the validity of any test evidence (see section I). If a recent test certificate, dated within the last 12 months, is not available for the installation, then we recommend it is tested (see section I2).

Condition Rating 3.

3

F

Services

F2 Gas/oil

Safety warning: All gas and oil appliances and equipment should be regularly inspected, tested, maintained and serviced by a registered 'competent person' in line with the manufacturer's instructions. This is important to make sure that the equipment is working correctly, to limit the risk of fire and carbon monoxide poisoning, and to prevent carbon dioxide and other greenhouse gases from leaking into the air. For more advice, contact the Gas Safe Register for gas installations, and OFTEC for oil installations.

The gas meter and safety valve are located in a cabinet on the north elevation. You should ensure that access to these services is kept clear at all times.

3



We have not seen a Gas Safe or OFTEC certificate, your legal advisor should check that there is a Gas Safe / OFTEC certificate and you should ask your legal advisor to confirm the validity of this evidence (see section I). If a recent test certificate dated within the last 12 months is not available for the installation, then we recommend it is tested (see section I2).

Condition Rating 3.

F

Services

F3 Water

There is a meter and shut off valve on the shared drive at north along with a 2nd that likely serves a neighbouring property (not confirmed); it could not be confirmed which unit serves the subject property. There is an internal stopcock in the 1st floor bathroom.

3



Water regulations change regularly and often, and it was not possible to confirm if all the plumbing systems conform to current regulations. We recommend that specific enquiry be made of the vendors through your solicitor to ascertain whether any alterations to the internal plumbing have been made, and if so to check that these were done by qualified and competent contractors. Outside taps should be insulated to prevent freezing in cold weather.

Condition Rating 3.

Services

F4 Heating

Heating is provided by a gas-fired boiler located in the kitchen.

We were unable to verify the output of the boiler and no calculations have been made to verify its adequacy. Furthermore, we were unable to verify if the boiler is correctly ventilated in accordance with current regulations.



All heating installations should be installed and serviced regularly (usually every year) by an appropriately qualified person. You should ask your legal advisor to confirm the validity of the gas/oil safety evidence provided (see section 1).

We noted no evidence of weep leaks or damage to the radiators. These should be monitored after a period of inactivity as upon refiring it is possible that leaks at radiator joints may occur from contraction/expansion of components.

Condition Rating 3.

3

F

Services

F5 Water heating

Water heating is provided by an electric immersion heater tank fitted in the 1st floor airing cupboard.



All heating installations should be installed and serviced regularly (usually every year) by an appropriately qualified person. You should ask your legal advisor to confirm the validity of the safety evidence provided (see section I).

Condition Rating 3.

3

Sample Report



Services

F6 Drainage

Not inspected. It was not possible to raise any manhole covers on the site and we are unable to comment on the efficacy or condition of the drainage system. If you have any doubts about the condition of the drains we recommend you have a CCTV drain survey undertaken. Any such test should be carried out prior to exchange of contracts. Condition Rating NI.	NI
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F7 Common services

None.	-
-------	---

Sample Report

G

Grounds

(including shared areas for flats)

Sample Report

G

Grounds (including shared areas for flats)

Limitations on the inspection

The boundary walls and fences have not been inspected in detail and only significant visible defects in boundaries, paths, retaining walls, and drives are reported. References to potential hazards are included only when readily apparent and visible.

We have not checked for Japanese Knotweed (JKW) or other invasive plants, however, if any suspected invasive plants were visible during our inspection these will be noted. It is recommended that you commission an inspection and report from a qualified specialist if you have concerns about invasive plants, as we cannot rule out the possible presence of JKW or other invasive plant species.

We have not consulted British Geological Survey or Ordnance Survey maps as regards the previous use of the site. We are unable to comment therefore as to whether there are any hidden or potential problems within the ground upon which the property is built. Your solicitors should check this.

Our inspection of the boundaries was severely restricted by mature planting.



G

Grounds (including shared areas for flats)

G1 Garage

1 2 3 NI

None.	-
-------	---

G2 Permanent outbuildings and other structures

<p>The property has a timber shed with pantile roof that is completely overgrown and could not be inspected.</p> 	NI
---	----

Sample Report

G

Grounds (including shared areas for flats)

G3 Other

The majority of the boundaries were completely overgrown and could not be inspected. Paving is in generally average condition with some weed growth visible, and minor heave/movement from nearby tree roots. The north gate is in poor condition and not secure, you may wish to consider upgrading security provision and replacement of the gate and its posts may be more economical than attempted repairs.

2



Sample

Continues...

G

Grounds (including shared areas for flats)

... continued

The east boundary's dwarf brick wall is in similarly poor condition to the main walls as described in D4, with significant spalling and pointing failure.



Your legal advisor should query access rights and maintenance responsibilities for the shared drive at north, and you should also be aware that the property fronts onto the garden of #44 to the south and access arrangements/rights of way should be clarified prior to your making a legal commitment to purchase.

Condition Rating 2.

Sample

H

Issues for your legal advisors

We do not act as a legal advisor and will not comment on any legal documents. However, if, during the inspection, we identify issues that your legal advisors may need to investigate further, we may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows). You should show your legal advisors this section of the report.

Sample report

Issues for your legal advisors

H1 Regulation

You should ask your legal advisor to investigate and advise upon whether Local Authority notifications and approvals for past alterations have been obtained, if needed, and that all statutory inspections have been made. If regulations have been breached or work carried out without the necessary approvals and inspections, extensive and costly alteration works may be needed to ensure compliance.

H2 Guarantees

You should ask your legal advisor to ensure retention of any rights or guarantees which will need to be reserved for you and to clarify any liabilities that you may have to others.

You should also ask your legal advisor to investigate and advise upon any warranties or guarantees connected with the property such as:

- Damp and timber treatment
- Electricity test certificate
- Gas/Oil test certificate
- Heating servicing records
- Water heating servicing records
- FENSA certificates
- Chimney sweeping and flue lining records

H3 Other matters

You should ask your legal advisor to investigate and advise upon:

- The existence of any current planning applications affecting adjoining properties or land.
- We assume there are no covenants attached to the title that could affect value. This should be confirmed by your legal advisor.
- We are informed that the property is in Council Tax Band 'C'. This should be confirmed by your legal advisor.
- Party Wall: any repairs to the walls between adjoining properties may involve a Party Wall Agreement.
- Listed Building: the property and its neighbour at #44 are Grade II listed, therefore there will be restrictions on what works can be done to the exterior, and appropriate permissions will need to be sought from relevant authorities (e.g. Historic England, Broadland Council) before works are undertaken. This will add to costs and extend planned timelines.

I

Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and cannot be reasonably changed.

Sample Report

I

Risks

I1 Risks to the building

None other than those already noted in sections A-H, above.

I2 Risks to the grounds

We have not checked for Japanese Knotweed (JKW) or other invasive plants, however, if any suspected invasive plants were visible during our inspection these will be noted. It is recommended that you commission an inspection and report from a qualified specialist if you have concerns about invasive plants, as we cannot rule out the possible presence of JKW or other invasive plant species.

I3 Risks to people

The electrical installation should be tested by an appropriately qualified specialist if a current safety certificate is not available.

Smoke detectors should be correctly fitted and regularly maintained and tested.

Parts of the property may contain small amounts of asbestos fibres and could be a safety hazard when disturbed.

You should also ask your legal advisor to investigate and advise upon:

- Electricity test certificate
- Gas/Oil test certificate
- Heating servicing records
- Chimney sweeping records

I4 Other risks or hazards

Tree roots can exert physical pressure on foundations and cause direct movement due to their ability to absorb large amounts of moisture, which results in expansion and contraction of the subsoil. Tree roots can also cause disturbance to underground drains and service pipes which again can result in movement. We recommend you regularly monitor the areas nearest to mature trees for any signs of movement going forward.

J

Energy matters

This section describes energy-related matters for the property as a whole. It takes into account a broad range of energy-related features and issues already identified in the previous sections of this report, and discusses how they may be affected by the condition of the property.

This is not a formal energy assessment of the building, but part of the report that will help you get a broader view of this topic. Although this may use information obtained from an available EPC, it does not check the certificate's validity or accuracy.

Sample Report

J1 Insulation

Existing external walls to the original building are solid brickwork, which is of low thermal performance. It is possible to improve these by installing an internal thermal lining, however, there is a loss of internal floorspace associated with this as well as significant cost, which may outweigh the energy saving benefits.

The property has loft insulation that is inadequate, missing, or dated. You may wish to look at the costs vs benefits of upgrading the loft insulation to improve thermal efficiency.

Windows require replacement and there is an opportunity to improve thermal performance through the installation of 'conservation' or 'heritage' type double-glazing. Consents will be required.

J2 Heating

HM Government have announced that 2035 will be the end date for the installation of new gas boilers. This does not mean that existing gas boilers need to be removed, and at present the policy is to allow existing gas boilers to stay until the end of their service life before being disconnected from the gas grid.

A modern condensing boiler has been installed.

Solar water heating is unlikely to be appropriate as the property is a listed building.

J3 Lighting

Low energy dedicated light fittings could be installed.

J4 Ventilation

Mechanical ventilation has been provided to the kitchen, however, there is no functioning mechanical ventilation provided to either bathroom. We recommend the installation of extractor fans, ideally with humidistats and timers, to manage condensation and bathroom odours.

New windows should be fitted with trickle vents to allow passive ventilation.

Ventilation is of paramount importance in historic buildings and/or buildings with solid masonry walls. In light of the extent of roof works required you may also wish to investigate the possibility of installing a Positive Input Ventilation (PIV) unit to manage air quality and humidity levels on a more permanent basis.

J5 General

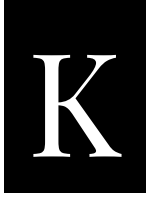
There is no EPC for the property; Listed Buildings are exempt from providing an EPC insofar as compliance with certain minimum energy performance requirements would unacceptably alter their character or appearance.

Current regulations require properties to have a minimum EPC rating of 'E' in order to be let, unless exemptions apply. HM Government has advised that they intend to introduce legislation increasing this to a minimum rating of 'C' from 2025, however, on 20 September 2023 HM Government announced it would no longer seek to create policies that 'force' landlords to upgrade energy efficiency, but instead continue to 'encourage households' to do so. You should be aware that there remains a risk of further U-turns on EPC ratings for let properties, either from this or future governments.

K

Surveyor's declaration

Sample Report



Surveyor's declaration

Surveyor's RICS number

1234567

Phone number

01603 605 610

Company

Peer | King Surveyors

Surveyor's Address

St George's Works
51 Colegate
Norwich
NR3 1DD

Qualifications

MRICS

Email

hello@peerkingssurveyors.com

Website

peerkingssurveyors.com

Property address

42 Any Street
Norwich
NR1 1AA

Client's name

Mr A & Mrs B Sample

Date this report was produced

21 October 1066

I confirm that I have inspected the property and prepared this report.

Signature

P. King

Sample Report

L

What to do now

Sample Report

L

Further investigations and getting quotes

We have provided advice below on what to do next, now that you have an overview of any work to be carried out on the property. We recommend you make a note of any quotations you receive. This will allow you to check the amounts are in line with our estimates, if cost estimates have been provided.

Getting quotations

The cost of repairs may influence the amount you are prepared to pay for the property. Before you make a legal commitment to buy the property, you should get reports and quotations for all the repairs and further investigations the surveyor may have identified. You should get at least two quotations from experienced contractors who are properly insured.

You should also:

- ask them for references from people they have worked for
- describe in writing exactly what you will want them to do and
- get them to put their quotation in writing.

Some repairs will need contractors who have specialist skills and who are members of regulated organisations (for example, electricians, gas engineers, plumbers and so on). You may also need to get Building Regulations permission or planning permission from your local authority for some work.

Further investigations and what they involve

If we are concerned about the condition of a hidden part of the building, could only see part of a defect or do not have the specialist knowledge to assess part of the property fully, we may have recommended that further investigations should be carried out to discover the true extent of the problem.

This will depend on the type of problem, but to do this properly, parts of the home may have to be disturbed, so you should discuss this matter with the current owner. In some cases, the cost of investigation may be high.

When a further investigation is recommended, the following will be included in your report:

- a description of the affected element and why a further investigation is required
- when a further investigation should be carried out and
- a broad indication of who should carry out the further investigation.

Who you should use for further investigations

You should ask an appropriately qualified person, although it is not possible to tell you which one. Specialists belonging to different types of organisations will be able to do this. For example, qualified electricians can belong to five different government-approved schemes. If you want further advice, please contact the surveyor.

M

Description of the RICS Home Survey –
Level 3 (survey only) service and terms of
engagement

Sample Report



Description of the RICS Home Survey – Level 3 (survey only) service and terms of engagement

The service

The RICS Home Survey – Level 3 (survey only) service includes:

- a physical **inspection** of the property (see 'The inspection')
- a **report** based on the inspection (see 'The report') and

The surveyor who provides the RICS Home Survey – Level 3 (survey only) service aims to give you professional advice to:

- help you make a reasoned and informed decision when purchasing the property, or when planning for repairs, maintenance or upgrading the property
- provide detailed advice on condition
- describe the identifiable risk of potential or hidden defects
- propose the most probable cause(s) of the defects based on the inspection and
- where practicable and agreed, provide an estimate of costs and likely timescale for identified repairs and necessary work.

Any extra services provided that are not covered by the terms and conditions of this service must be covered by a separate contract.

The inspection

The surveyor carefully and thoroughly inspects the inside and outside of the main building and all permanent outbuildings, recording the construction and defects that are evident. This inspection is intended to cover as much of the property as is physically accessible. Where this is not possible, an explanation is provided in the 'Limitations on the inspection' box in the relevant section of the report.

The surveyor does not force or open up the fabric of the building. This includes taking up fitted carpets, fitted floor coverings or floorboards; moving heavy furniture; removing the contents of cupboards, roof spaces, etc.; removing secured panels and/or hatches; or undoing electrical fittings.

If necessary, the surveyor carries out parts of the inspection when standing at ground level, from adjoining public property where accessible. This means the extent of the inspection will depend on a range of individual circumstances at the time of inspection, and the surveyor judges each case on an individual basis.

The surveyor uses equipment such as a damp meter, binoculars and torch, and uses a ladder for flat roofs and for hatches no more than 3m above level ground (outside) or floor surfaces (inside) if it is safe to do so.



Description of the RICS Home Survey – Level 3 (survey only) service and terms of engagement

If it is safe and reasonable to do so, the surveyor will enter the roof space and visually inspect the roof structure with attention paid to those parts vulnerable to deterioration and damage. Although thermal insulation is not moved, small corners should be lifted so its thickness and type, and the nature of underlying ceiling can be identified (if the surveyor considers it safe to do). The surveyor does not move stored goods or other contents.

The surveyor also carries out a desk-top study and makes oral enquiries for information about matters affecting the property.

Services to the property

Services are generally hidden within the construction of the property. This means that only the visible parts of the available services can be inspected, and the surveyor does not carry out specialist tests. The visual inspection cannot assess the efficiency or safety of electrical, gas or other energy sources. It also does not investigate the plumbing, heating or drainage installations (or whether they meet current regulations) or the internal condition of any chimney, boiler or other flue.

Outside the property

The surveyor inspects the condition of boundary walls, fences, permanent outbuildings and areas in common (shared) use. To inspect these areas, the surveyor walks around the grounds and any neighbouring public property where access can be obtained. Where there are restrictions to access (e.g. a creeper plant prevents closer inspection), these are reported and advice is given on any potential underlying risks that may require further investigation.

Buildings with swimming pools and sports facilities are treated as permanent outbuildings and are therefore inspected, but the surveyor does not report on the leisure facilities, such as the pool itself and its equipment internally and externally, landscaping and other facilities (for example, tennis courts and temporary outbuildings).

Flats

When inspecting flats, the surveyor assesses the general condition of the outside surfaces of the building, as well as its access and communal areas (for example, shared hallways and staircases that lead directly to the subject flat) and roof spaces, but only if they are accessible from within and owned by the subject flat. The surveyor does not inspect drains, lifts, fire alarms and security systems.

External wall systems are not inspected. If the surveyor has specific concerns about these items, further investigation will be recommended before making a legal commitment to purchase.



Description of the RICS Home Survey – Level 3 (survey only) service and terms of engagement

Dangerous materials, contamination and environmental issues

The surveyor does not make any enquiries about contamination or other environmental dangers. However, if the surveyor suspects a problem, they should recommend further investigation.

The surveyor may assume that no harmful or dangerous materials have been used in the construction, and does not have a duty to justify making this assumption. However, if the inspection shows that such materials have been used, the surveyor must report this and ask for further instructions.

The surveyor does not carry out an asbestos inspection and does not act as an asbestos inspector when inspecting properties that may fall within *The Control of Asbestos Regulations 2012* ('CAR 2012'). However, the report should properly emphasise the suspected presence of asbestos containing materials if the inspection identifies that possibility. With flats, the surveyor assumes that there is a 'dutyholder' (as defined in CAR 2012), and that there is an asbestos register and an effective management plan in place, which does not present a significant risk to health or need any immediate payment. The surveyor does not consult the dutyholder.

The report

The surveyor produces a report of the inspection results for you to use, but cannot accept any liability if it is used by anyone else. If you decide not to act on the advice in the report, you do this at your own risk. The report is aimed at providing you with a detailed understanding of the condition of the property to allow you to make an informed decision on serious or urgent repairs, and on the maintenance of a wide range of reported issues..

Condition ratings

The surveyor gives condition ratings to the main parts (the 'elements') of the main building, garage and some outside elements. The condition ratings are described as follows:

- **R** – Documents we may suggest you request before you sign contracts.
- **Condition rating 3** – Defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property. Written quotations for repairs should be obtained prior to legal commitment to purchase.
- **Condition rating 2** – Defects that need repairing or replacing but are not considered to be either serious or urgent. The property must be maintained in the normal way.
- **Condition rating 1** – No repair is currently needed. The property must be maintained in the normal way.
- **NI** – Elements not inspected.

The surveyor notes in the report if it was not possible to check any parts of the property that the inspection would normally cover. If the surveyor is concerned about these parts, the report tells you about any further investigations that are needed.



Description of the RICS Home Survey – Level 3 (survey only) service and terms of engagement

Energy

The surveyor has not prepared the Energy Performance Certificate (EPC) as part of the RICS Home Survey – Level 3 (survey only) service for the property. Where the EPC has not been made available by others, the surveyor will obtain the most recent certificate from the appropriate central registry where practicable. If the surveyor has seen the current EPC, they will present the energy efficiency rating in this report. Where possible and appropriate, the surveyor will include additional commentary on energy-related matters for the property as a whole in the energy efficiency section of the report, but this is not a formal energy assessment of the building. Checks will be made for any obvious discrepancies between the EPC and the subject property, and the implications will be explained to you. As part of the Home Survey – Level 3 (survey only) Service, the surveyor will advise on the appropriateness of any energy improvements recommended by the EPC

Issues for legal advisors

The surveyor does not act as a legal advisor and does not comment on any legal documents. If, during the inspection, the surveyor identifies issues that your legal advisors may need to investigate further, the surveyor may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows).

This report has been prepared by a surveyor merely in their capacity as an employee or agent of a firm, company or other business entity ('the Company'). The report is the product of the Company, not of the individual surveyor. All of the statements and opinions contained in this report are expressed entirely on behalf of the Company, which accepts sole responsibility for them. For their part, the individual surveyor assumes no personal financial responsibility or liability in respect of the report, and no reliance or inference to the contrary should be drawn.

In the case of sole practitioners, the surveyor may sign the report in their own name, unless the surveyor operates as a sole trader limited liability company.

Nothing in this report excludes or limits liability for death or personal injury (including disease and impairment of mental condition) resulting from negligence.

Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and cannot be reasonably changed. The RICS Home Survey – Level 3 (survey only) report will identify risks, explain the nature of the problems and explain how the client may resolve or reduce the risk.

If the property is leasehold, the surveyor gives you general advice and details of questions you should ask your legal advisors.



Description of the RICS Home Survey – Level 3 (survey only) service and terms of engagement

Standard terms of engagement

1 **The service** – the surveyor provides the standard RICS Home Survey – Level 3 (survey only) service described in this section, unless you agree with the surveyor in writing before the inspection that the surveyor will provide extra services. Any extra service will require separate terms of engagement to be entered into with the surveyor. Examples of extra services include:

- schedules of works
- supervision of works
- re-inspection
- detailed specific issue reports
- market valuation and re-instatement cost, and
- negotiation

2 **The surveyor** – The service will be provided by an AssocRICS, MRICS or FRICS member of the Royal Institution of Chartered Surveyors (RICS) who has the skills, knowledge and experience to survey and report on the property.

3 **Before the inspection** – Before the inspection, you should tell us if there is already an agreed or proposed price for the property, and if you have any particular concerns about the property (such as a crack noted above the bathroom window or any plans for extension).

This period forms an important part of the relationship between you and the surveyor. The surveyor will use reasonable endeavours to contact you to discuss your particular concerns regarding the property, and explain (where necessary) the extent and/or limitations of the inspection and report. The surveyor also carries out a desktop study to understand the property better.

4 **Terms of payment** – You agree to pay our fee and any other charges agreed in writing.

5 **Cancelling this contract** – You should seek advice on your obligations under *The Consumer Contracts (Information, Cancellation and Additional Charges) Regulations 2013* ('the Regulations') and/or the *Consumer Rights Act 2015* in accordance with section 2.6 of the current edition of the *Home survey standard* RICS professional statement.

6 **Liability** – the report is provided for your use, and the surveyor cannot accept responsibility if it is used, or relied upon, by anyone else.

Note: These terms form part of the contract between you and the surveyor. This report is for use in the UK only.

Complaints handling procedure

The surveyor will have a complaints handling procedure and will give you a copy if you ask for it. The surveyor is required to provide you with contact details, in writing, for their complaints department or the person responsible for dealing with client complaints. Where the surveyor is party to a redress scheme, those details should also be provided. If any of this information is not provided, please notify the surveyor and ask for it to be supplied.

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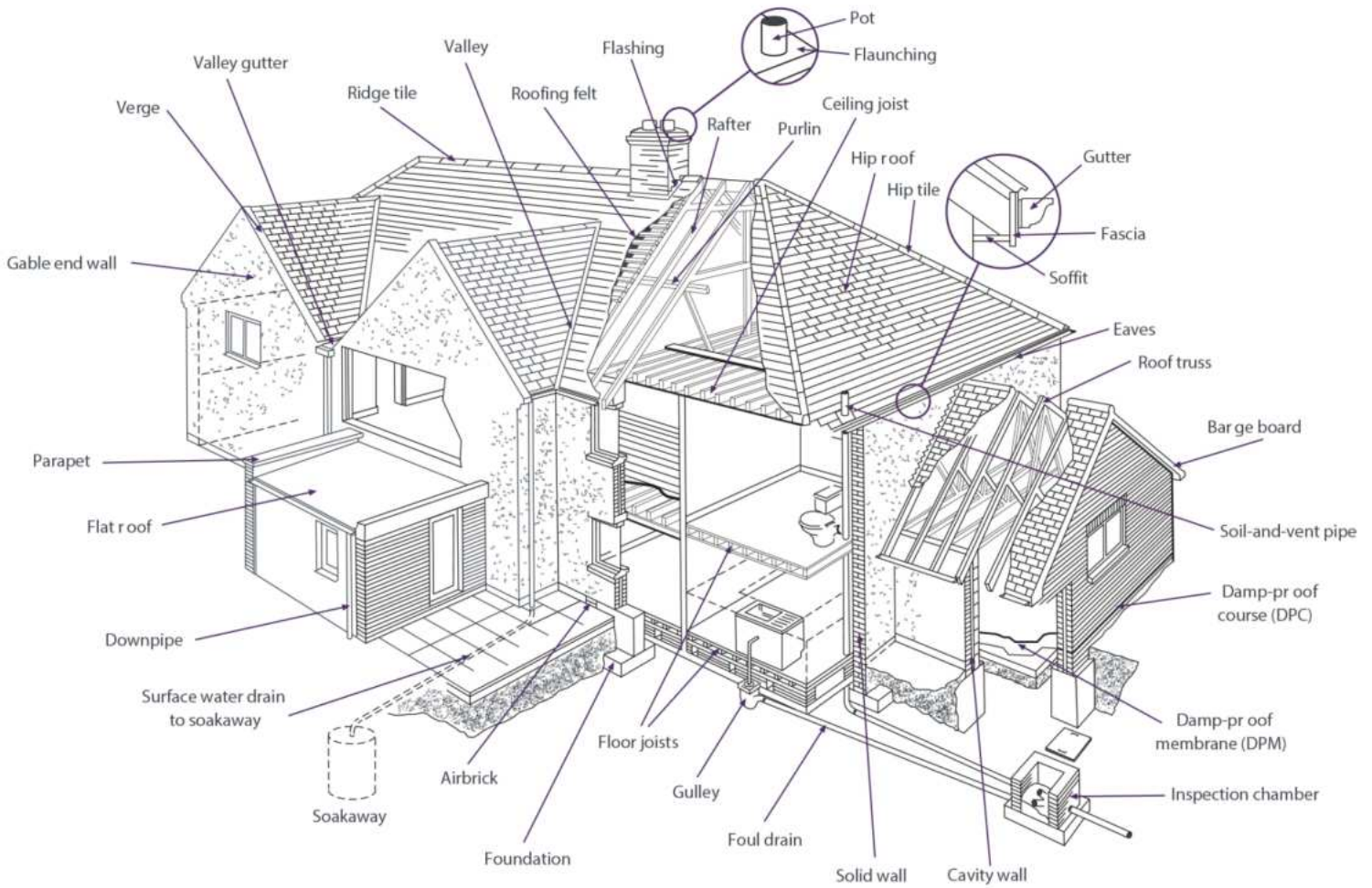
Typical house diagram

Sample Report



Typical house diagram

This diagram illustrates where you may find some of the building elements referred to in the report.



Glossary of terms

Airbrick	A brick with holes in it by design, used especially underneath timber floors and in roof spaces, to allow ventilation.
Barge Board	Also known as a 'Verge Board'. A board, usually wooden and sometimes decorative, placed on the edge, or verge, of a roof.
Cavity Wall	A wall built with two sets of bricks or blocks, with a gap, or cavity between them. Cavity is usually about 50mm.
Ceiling Joist	Horizontal piece of wood used to support a floor (above), or attach a ceiling (below). Sometimes also metal.
Damp Proof Course (DPC)	A layer of material that cannot be crossed by damp, built into a wall to prevent dampness rising up the wall, or seeping into windows or doors. Various methods can be used.
Damp Proof Membrane (DPM)	A sheet of material that cannot be crossed by damp, laid in solid floors.
Downpipe	A pipe that carries rainwater from the roof of a building.
Eaves	The overhanging edge of a roof.
Fascia	A board, usually wooden, that run along the top of a wall underneath the bottom of a sloping roof.
Flashing	Used to prevent water leaking in at roof joints. Normally made from metal, but can also be cement, felt, or other effective material.
Flat Roof	A roof specifically designed to sit as flat as possible, typically having a pitch of no more than 15 degrees. A flat roof usually has the following components: 1. Waterproofing, 2. Insulation, 3. Vapour Barrier, 4. Substrate or sheathing (the surface that the roof is laid on), 5. Joists, and 6. Plasterboard ceiling.

Glossary of terms

Flaunching	Shaped cement around the base of chimney pots, to keep the pot in place and so that rain will run off.
Floor Joists	Horizontal piece of wood used to support a floor. Sometimes also metal.
Foul Drain	A pipe that conveys sewage or waste water from a toilet, etc, to a sewer
Foundation	Normally made of concrete, a structural base to a wall to prevent it sinking into the ground. In older buildings foundations may be made of brick or stone.
Gable End Wall	The upper part of a wall, usually triangular in shape, at the end of a ridged roof.
Gulley	An opening into a drain, usually at ground level, so that water etc. can be funnelled in from downpipes and wastepipes.
Gutter	A trough fixed under or along the eaves for draining rainwater from a roof.
Hip	The outside of the join where two roof slopes connect.
Hip Roof	A roof where all sides slope downwards and are equal in length, forming a ridge at the top.
Hip Tile	The tile covering the hip of a roof, to prevent rain getting in.
Inspection Chamber	Commonly called a man-hole. An access point to a drain with a removable cover.
Parapet	A low wall along the edge of a flat roof, balcony, etc.
Purlin	A horizontal beam in a roof, on which the roof rafters rest.

Glossary of terms

Rafter	A sloping roof beam, usually wooden, which forms and supports the roof.
Ridge Tile	The tiles that cover the highest point of a roof, to prevent rain getting in.
Roof Truss	A structural framework, usually triangular and made from wood or metal, used to support a roof.
Roofing Felt	A type of tar paper, used underneath tiles or slates in a roof. It can help to provide extra weather protection.
Soakaway	An area for the disposal of rainwater, usually using stones below ground sized and arranged to allow water to disperse through them.
Soffit	A flat horizontal board used to seal the space between the back of a fascia or barge board and the wall of a building.
Soil and vent Pipe	Also known as a soil stack pipe. Typically a vertical pipe with a vent at the top. The pipe removes sewage and dirty water from a building, the vent at the top carries away any smells at a safe height.
Solid Wall	A wall with no cavity.
Surface Water Drain	The drain leading to a soakaway.
Valley	Where two roof slopes meet and form a hollow.
Valley gutter	A gutter, usually lined with Flashing, where two roof slopes meet.
Verge	The edge of a roof, especially over a gable.

RICS disclaimer

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